

STAFF REPORT

DOCKET/CASE/APPLICATION NUMBER

APPLICANT/PROPERTY OWNER

PUBLIC HEARING DATE

PROPERTY ADDRESS/LOCATION

BRIEF SUMMARY OF REQUEST



MAP SOURCE: (50% OPACITY SCREENGAB FROM TWP MAP)

EXISTING ZONING	EXISTING LAND USE	SURROUNDING USES	SITE IMPROVEMENTS	SIZE OF PROPERTY
-----------------	-------------------	------------------	-------------------	------------------

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

COMPATIBILITY with the COMPREHENSIVE PLAN

OUTSIDE AGENCY REVIEW

COMPATIBILITY with the ZONING RESOLUTION

ATTACHMENTS (CHECK)



APPLICATION FORM



SUBMITTED PLANS



PROPERTY OWNER AFFIDAVIT



PUBLIC COMMENTS



LEGAL NOTICE

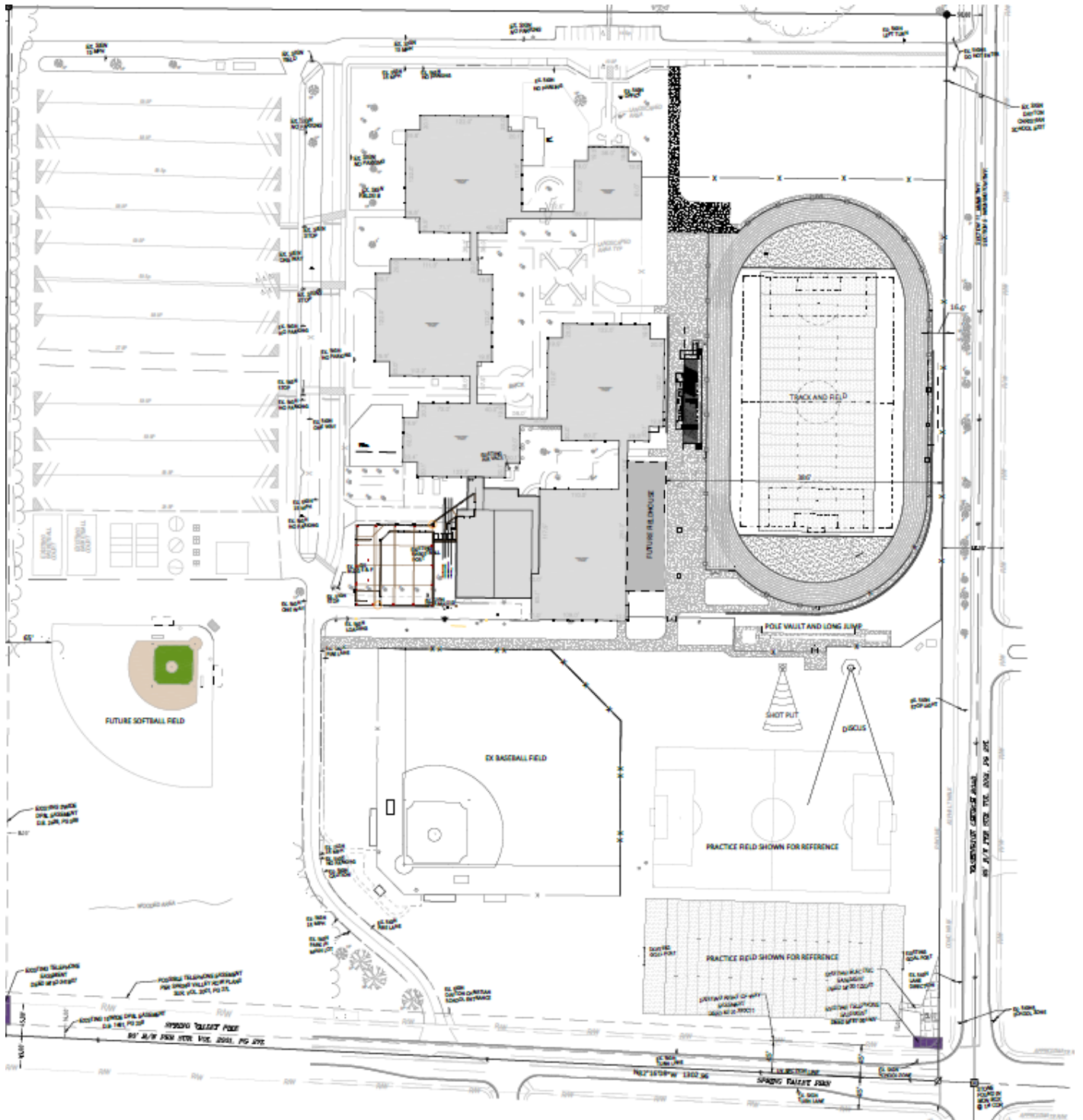
OTHER (DESCRIBE)



STAFF REPORT (ANALYSIS)

<p>DEVELOPMENT SCHEDULE</p>	
<p>PUBLIC HEALTH, SAFETY, MORALS, AND WELFARE</p>	
<p>TRAFFIC CONTROL & ACCESS</p>	
<p>PUBLIC SERVICE BURDEN</p>	
<p>ARRANGEMENT & COMPATIBILITY OF STRUCTURES</p>	

SITE PLAN



Standard	Proposed	Required
Total Building Coverage	8.6%	<60%
Total Impervious Coverage	36.1%	<75%
Front Setback (fence) (east)	56.6'	>25'
Side Setback (north)	>15'	>15'
Side Setback (south)	>15'	>15'
Rear Setback (east)	>30'	>30'

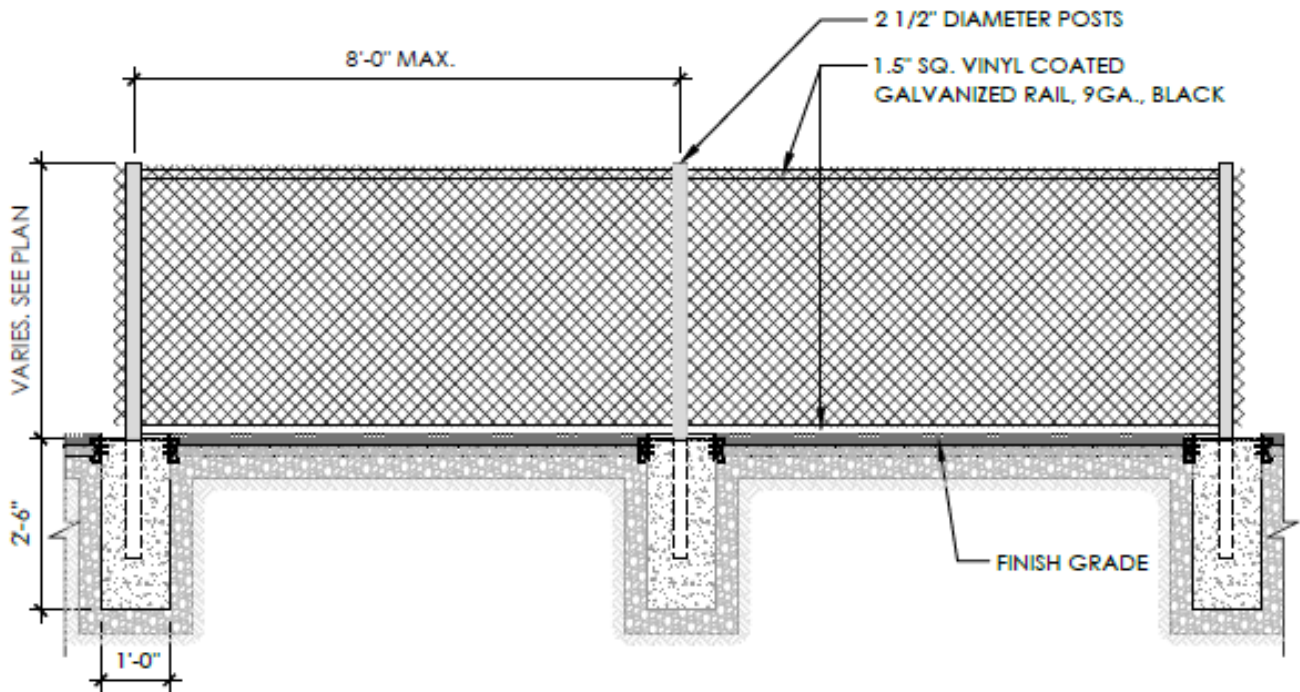
SITE PLAN



The proposed Stadium and associated bleachers will be located on the East side of the parcel, adjacent to Washington Church Rd. The fence for the proposed track will be located 56.6' away from the Washington Church Rd. edge-of-pavement. This distance does meet the requirements of Article 31 for PDs to maintain a green zone between uses and public rights-of-way. The proposed stadium will increase the impervious surface on site by 2.94 acres, or another 0.67% of the entire parcel.

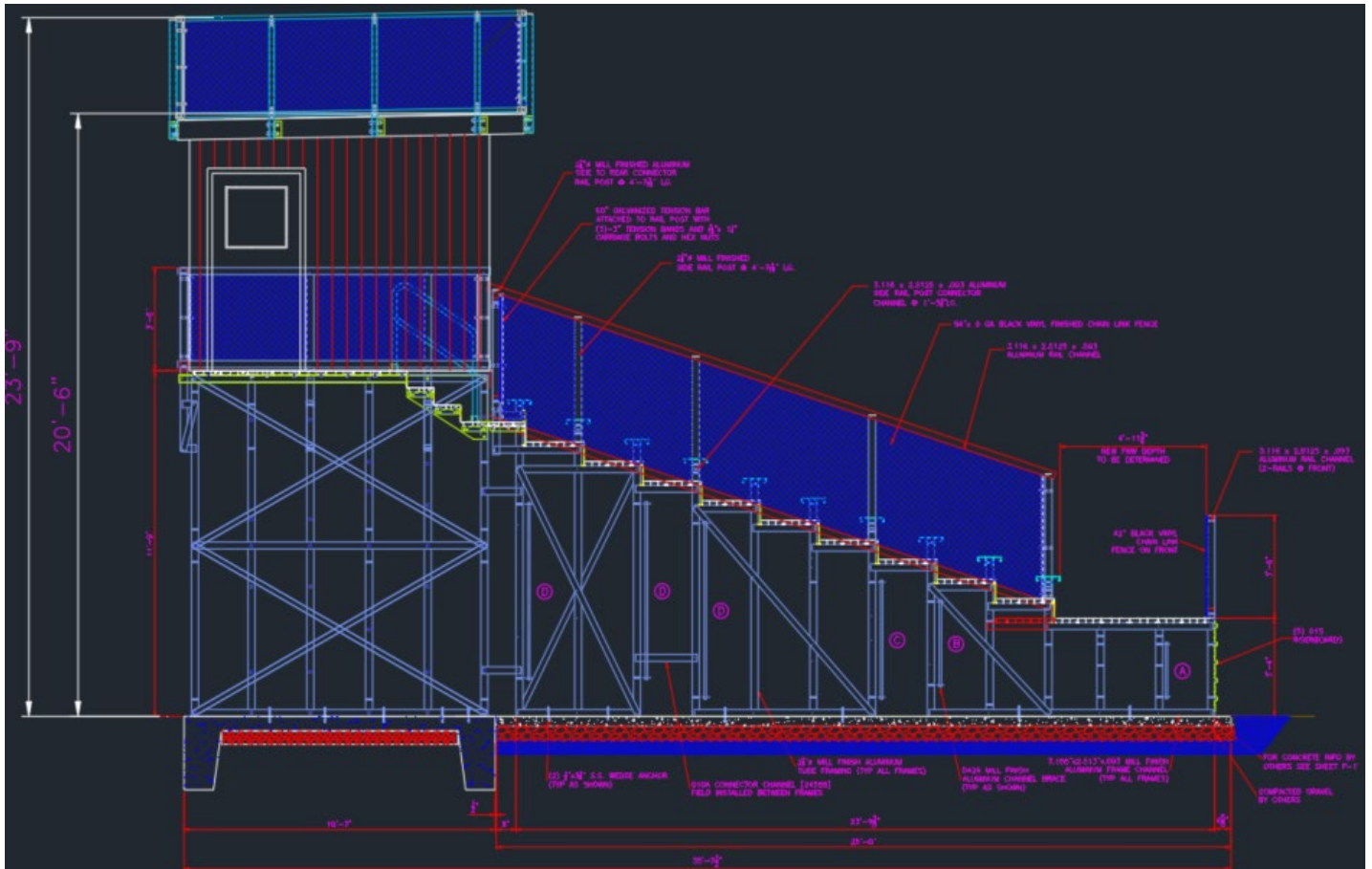
No additional ingress/egress points are proposed, as the peak traffic generated by any associated sporting events will be less than peak traffic during normal school pickup/dropoff events. The site's two existing egress points will help alleviate the peak traffic commonly experienced when sporting events end and attendees leave simultaneously.

The proposed fence around the track area will be composed of vinyl-coated chain link sections, no longer than 8 ft. between fenceposts.



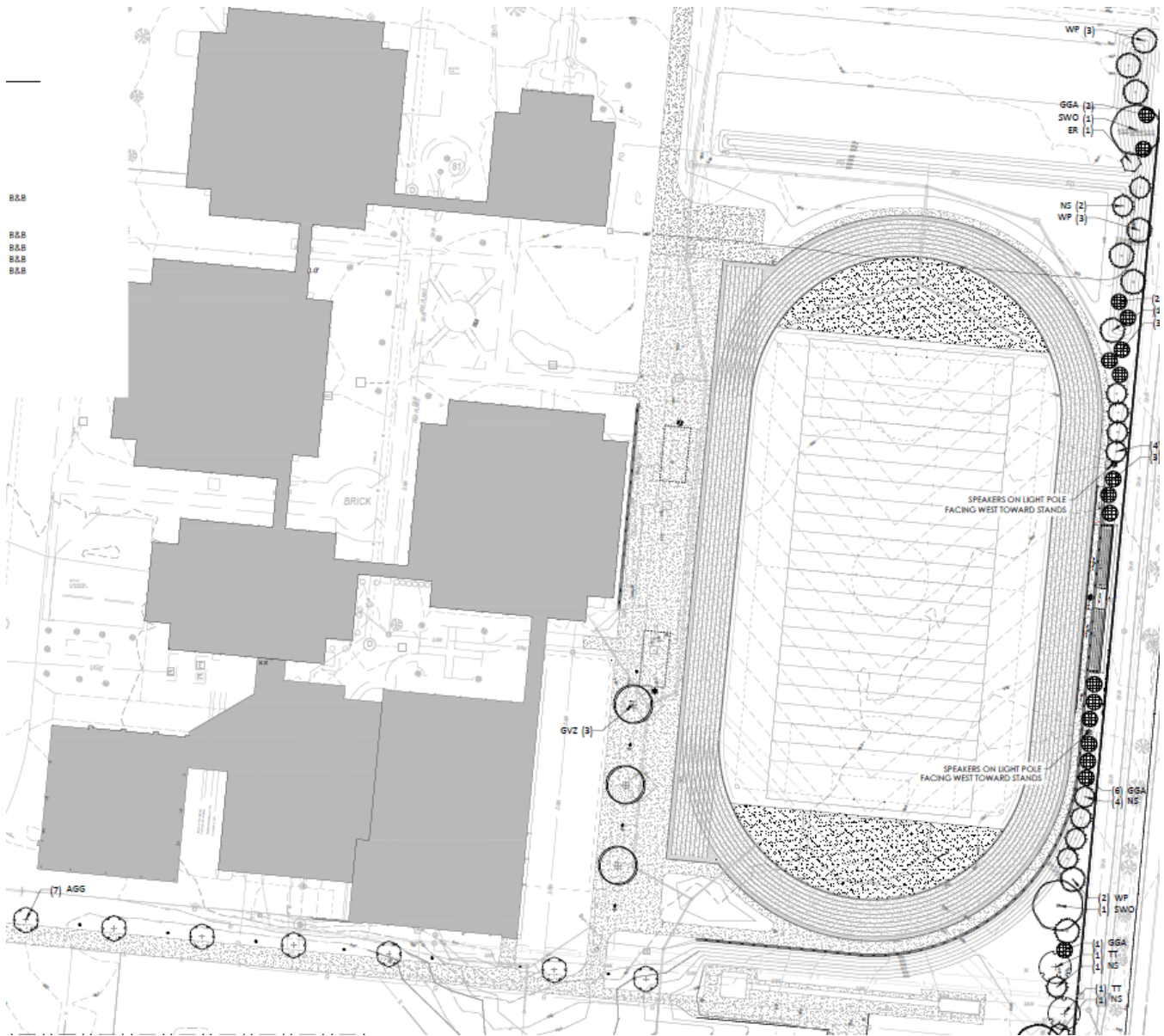
SITE PLAN

The proposed home-side bleachers elevations:



LANDSCAPE PLAN

Landscape Plan (Stadium)



PLANT SCHEDULE L301

<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
EVERGREEN TREES				
NS	12	<i>Picea abies</i>	Norway Spruce	6'-7' B&B
WP	9	<i>Pinus strobus</i>	White Pine	6'-7' B&B
GGA	17	<i>Thuja occidentalis</i> 'Green Giant'	Green Giant Arborvitae	6'-7' B&B
ORNAMENTAL TREES				
ER	1	<i>Cercis canadensis</i>	Eastern Redbud	2 1/2" - 3" CAL. B&B
SHADE TREES				
AGG	7	<i>Ginkgo biloba</i> 'Autumn Gold' TM	Autumn Gold Maidenhair Tree	2 1/2" - 3" CAL. B&B
TT	2	<i>Liriodendron tulipifera</i>	Tulip Tree	2 1/2" - 3" CAL. B&B
SWO	2	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" - 3" CAL. B&B
GVZ	3	<i>Zelkova serrata</i> 'Green Vase'	Green Vase Zelkova	2 1/2" - 3" CAL. B&B

LANDSCAPE PLAN

Landscape Plan (Sports Fields)



PLANT SCHEDULE L302

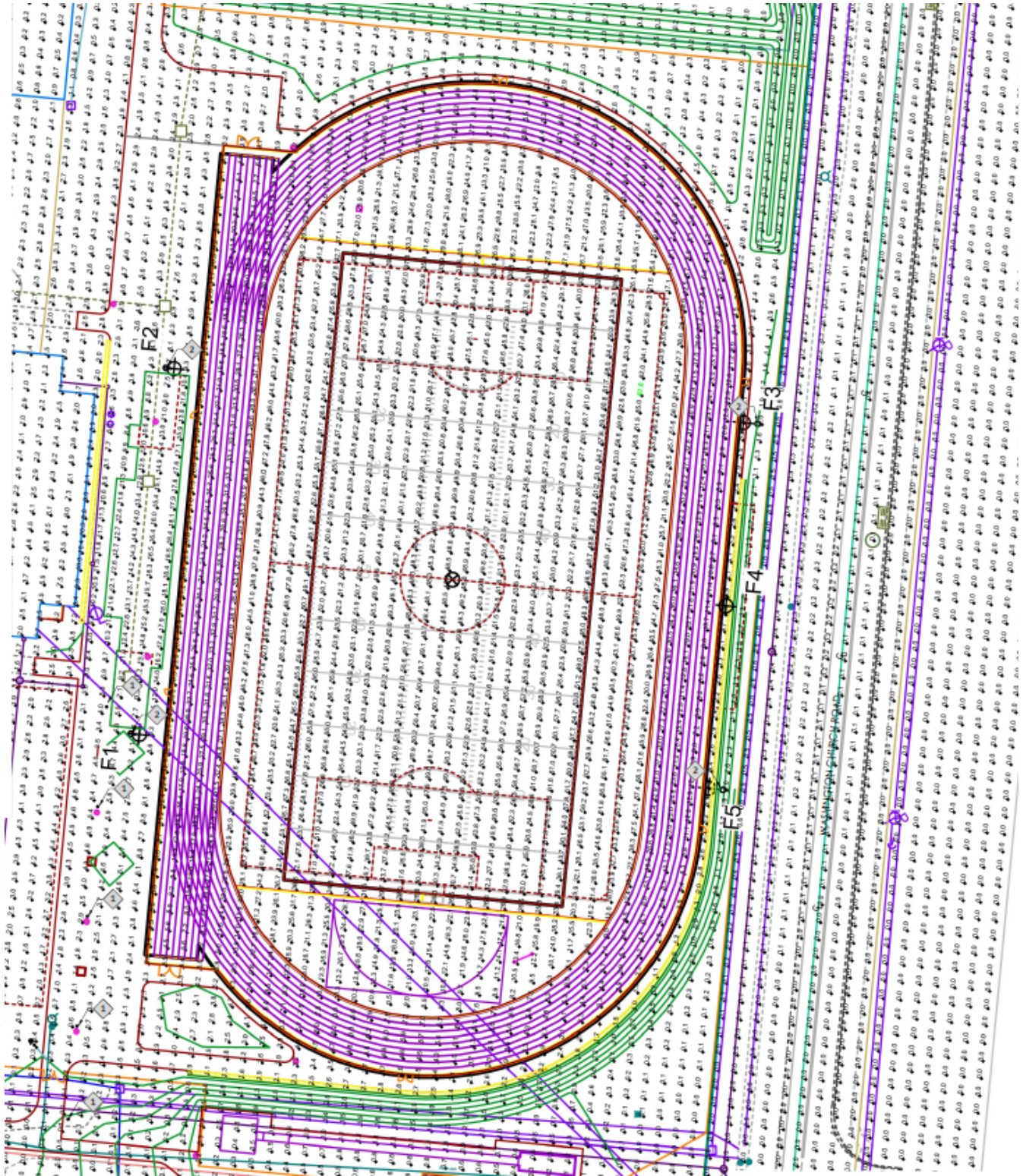
<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>
<u>EVERGREEN TREES</u>				
NS	13	<i>Picea abies</i>	Norway Spruce	6'-7' B&B
WP	8	<i>Pinus strobus</i>	White Pine	6'-7' B&B
GGA	11	<i>Thuja occidentalis</i> 'Green Giant'	Green Giant Arborvitae	6'-7' B&B
<u>ORNAMENTAL TREES</u>				
ER	7	<i>Cercis canadensis</i>	Eastern Redbud	2 1/2" - 3" CAL. B&B
<u>SHADE TREES</u>				
TT	8	<i>Liriodendron tulipifera</i>	Tulip Tree	2 1/2" - 3" CAL. B&B
SWO	3	<i>Quercus bicolor</i>	Swamp White Oak	2 1/2" - 3" CAL. B&B



The landscaping plan provided accomplishes the major goal of providing screening along Washington Church and Spring Valley Pike roadways, which is a requirement of the Development Standards for the PD. The new impervious surface area being proposed, 2.94 acres, would require 64 new trees to be planted. The proposed landscaping plan shows 113 trees to be planted.

Standard	Proposed	Required
Screening Trees	33 Large, 70 evergreen	“mix of deciduous, evergreen, and bushes”
Site Trees (Impervious)	113	64

LIGHTING PLAN



Calculation Grid Summary

Grid Name	Calculation Metric	Illumination Ave		
		Ave	Min	Max
Blanket	Horizontal	8.24	0	67
Football	Horizontal Illuminance	50.46	35	61
Home Bleachers	Horizontal	12.50	8	15
Property Line Spill Line at 3ft.	Horizontal Illuminance	0.3108	0.00	0.91
Soccer	Horizontal Illuminance	51.75	40	63
Track	Horizontal Illuminance	13.20	4	27

LIGHTING PLAN



Staff worked extensively with the Applicant to iterate the Lighting Plan for the proposed stadium. The stadium land use, when approved, clearly intended to allow for the accompanying stadium lighting to support games at night. Because of the need to brightly and evenly illuminate the playing field, five light poles are proposed. Two poles on the press box side of the stadium, at 80 ft. tall, and three poles on the visitor stands side of the field, at 70 ft. tall, are proposed. These pole heights are significantly taller than the 25 ft. height limitation elsewhere in the Township. However, there is no way to feasibly illuminate the playing fields properly without raising the maximum pole height to allow even light coverage. The applicant added a pole to their initial design to reduce the visitor-side pole heights. This ensured that the footcandle levels at the property lines do not exceed the 1.0 fc maximum imposed by the Development Standards. Additionally, the maximum footcandle levels on the parcel would exceed the 6 fc maximum level imposed elsewhere in the Township (apart from some areas which allow 10fc for security purposes). The maximum fc value proposed is 67 fc.

Another departure from typical Township lighting requirements is the inclusion of light fixtures at the 5700 Kelvin temperature value. Lighting for sports fields is significantly different than lighting for the average nighttime land use. The applicant provided this information in relation to their request to allow higher light temperature values than the 3000K which is typical across the Township:

“Sports field lighting is required to provide a high Color Rendering Index (70) for crisp color differentiation and depth perception in fast-moving competitive sports for safety, as well as color accuracy and brightness for video recording. For reference, broadcast sports fields typically require a CRI of 90 and have a color temperature of 5700K. For field lighting, 5000 - 5700K is the standard temperature utilized for optimal daylight simulation and achieving a minimum 70 CRI. This cool, white light maximizes visibility, reduces eye strain, and provides the necessary clarity for both players and spectators in recreational or sports settings. The temperature of the fixtures specified at this time is 5700K for this purpose.”

Staff recommends approval, even though light levels on the playing field will exceed 6 fc and temperature values will exceed 3000K, due to the previous approval of the stadium land use. Stadiums are a unique land use. When athletes play in night games, even and intense illumination of the playing field improves safety for the athletes. This style of illumination was clearly intended when the stadium land use was included as a permitted use in the PUD. Requiring less bright or lower temperature lights would diminish the applicant’s ability to fully realize the stadium land use.



Overall Compliance With Applicable Development Standards

The proposed Final Development Plan must comply with the following development standards:

1. Article 7 (Site and Building Design)
2. Article 31 (Planned Development Standards)
3. Article 45-A (Landscaping)
4. Dayton Christian Planned Development Standards

The following table indicates whether the application meets all requirements of the various Articles of the Miami Township Zoning Resolution and any site-specific development standards:

Article 7	Meets all Article 7 requirements (excepting stadium lights)
Article 31	Meets all Article 31 requirements
Article 45-A	Meets all Article 45-A requirements
Dayton Christian Planned Development Standards	Applicant must provide additional information to ensure compliance with Article 44 (Noise). Applicant proposes higher footcandle and light temperature levels than normally permitted, but this is due to the unique need for the stadium land use to provide simulated daytime conditions for athlete safety.

Noise Generation

One major issue which must be considered is the generation of noise from a sports stadium land use, especially considering the residential neighborhoods adjacent to the site. The Development Standards for the Dayton Christian PD state that “No noise from any operation conducted on the premises, either continuous or intermittent, shall violate the provisions of Article 44.” However, the PD also allows for the permitted use of “...stadiums – including... bleachers...” which indicates that the stadium use was planned for in the creation of the PD.

Stadiums come with cheering, yelling, marching bands, and other associated noises which are not under the direct control of the stadium operator (fans control their own volume, for instance). Some potential sources of noise, such as PA systems, are under the direct control of the stadium operator. Staff recommends the following condition of approval:

- 1) No noise from any electronic public announcement (PA) system, or any other sound amplification device, operated on the site shall exceed the Decibel levels prescribed in Table 1A of Section 4404 of the Zoning Resolution, measured from the western boundary of the Washington Church Rd. ROW and the northern boundary of the Sprig Valley Pike ROW.

RECOMMENDATIONS

IF APPROVED

If the proposed Final Development Plan is approved, Dayton Christian Schools may be approved for a zoning permit for construction of the proposed stadium.

The Zoning Commission's recommendation will be forwarded to the Township Trustees for their consideration during their hearing of the case on **Tuesday April 7, 2026**.

IF DENIED

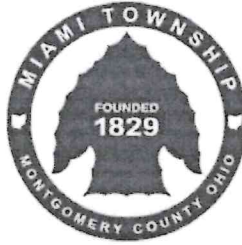
If the proposed Final Development Plan is denied, Dayton Christian Schools may not be approved for a zoning permit for construction of the proposed stadium.

The Zoning Commission's recommendation will be forwarded to the Township Trustees for their consideration during their hearing of the case on **Tuesday April 7, 2026**.

RECOMMENDATION

Staff recommends **approval** of the proposed Final Development Plan, with the following **conditions**:

- 1) No noise from any electronic public announcement (PA) system, or any other sound amplification device, operated on the site shall exceed the Decibel levels prescribed in Table 1A of Section 4404 of the Zoning Resolution, measured from the western boundary of the Washington Church Rd. ROW and the northern boundary of the Sprig Valley Pike ROW.



MJM/FDP APPLICATION

MAJOR MODIFICATIONS OR FINAL DEVELOPMENT PLANS

The Application Fee

- Cash or check made out to "Miami Township"

Completed Application Form *(also signed Procedures and Information document)*

- Form must be signed by **ALL** owners of property proposed for rezoning or modification. This means **ALL** individuals listed on the recorded deed.
- Form must be notarized.
- Form must be typed or entered on computer.
- Only one copy of the application form is required.
- Any additional documents required as part of the preliminary plan approval.

Survey of the Tract *(Existing Conditions)*

- (1) One electronic PDF copy shall be provided by the applicant.
- A survey of the area to be rezoned or approved under a final development plan shall be prepared by a registered surveyor, engineer, or architect of the State of Ohio and be stamped or sealed with the endorsement of the person preparing the plans. The survey shall include the following:
 - Changes necessary to the survey submitted with the preliminary plan. If no preliminary plan was filed, then a survey meeting the preliminary plan standards should be prepared.

Completed Plot Plan & Drawings *(Proposed Features)*

- (1) Electronic PDF copy shall be provided by the applicant.
- A plot plan of the area to be rezoned or approved under a final development plan shall be prepared by a registered surveyor, engineer, or architect of the State of Ohio and be stamped or sealed with the endorsement of the person preparing the plans. Landscaping should be shown on a separate sheet, if it would otherwise obscure necessary information on the plot plan and will have to be stamped by a registered landscape architect upon submission for a zoning certificate. The plot plan/drawings shall include the following:
 - In the case of residential developments, the overall density proposed and the location of all proposed lots, dwellings units, etc. shall be shown on the plan and the total number of units listed on the plan.
 - The location and arrangement of all proposed buildings, storage areas, refuse collection areas, fences, etc. Proposed use of each building should be shown on plan.
 - The location and dimensions of all proposed and required setbacks for buildings and parking areas should be shown with a continuous line or similar marking.

MAJOR MODIFICATIONS OR FINAL DEVELOPMENT PLANS

- Location of all proposed parking areas, loading areas, walks, drives and paved areas of any kind. Proposed traffic circulation pattern should also be indicated for all commercial projects.
- Location of all proposed open spaces, parks, playgrounds or other recreational facilities and areas.
- The location, quantity, species, and size of all proposed landscaping.
- The location of all existing trees or other vegetation to be preserved. Indicate construction limits or other areas that will be kept and marked as off limits to equipment or other work.
- The percentage and location of all impervious surface areas.
- The percentage of building coverage.
- A color rendering or elevation drawing of all proposed buildings.
- Location, size, and height of any proposed signs (indicate if a variance from the resolution is requested), building signage should be shown on elevation drawings.
- Location, height, type, and coverage area of all proposed exterior lighting.
- Location of all proposed storm water detention or retention facilities.
- Numerical information, such as number of parking spaces, lot density, housing units, etc. should be shown in a table on the first page of drawings. Location and proposed dimension of any street landscaping buffers and stream or river buffers.
- Proposed front, rear, and side setbacks for all buildings and parking areas shall be indicated in a table and shown on the plan drawing.
- An indication by drawing of the stage or phase that the final development plan represents in relation to the overall preliminary plan.
- A title, date, scale, and north arrow must be provided on each drawing.
- The current plan version or revision date should also be clearly indicated on each plan sheet
- Any additional information desired by the applicant or requested by the Zoning Commission or Board of Trustees.

Final File Copy Once Approved by Zoning Commission

(1 electronic PDF copy) must be submitted after approval is obtained. This plan must reflect any required conditions, such as buffers, building restrictions, covenants, etc., that are required clearly on the plan sheet. This plan will be kept in the file as the approved plan and all items agreed to and approved by the Zoning Commission and/or Board of Trustees must be built and/or regulated as shown and approved by the Board of Trustees.

I the undersigned, have read and understand all the above information and have provided all the necessary materials, forms, and information:



Applicant Signature

01/13/26

Date



MJM / FDP APPLICATION

FINAL DEVELOPMENT PLAN / MAJOR MODIFICATION APPLICATION

APPLICANT AND PROPERTY INFORMATION		STAFF USE ONLY
APPLICANT NAME Chris Balash		FILE INFORMATION
APPLICANT ADDRESS 3700 Park 42 Drive, Suite 190B Cincinnati, Ohio 45241		
PROPERTY ADDRESS OR LOCATION 9391 Washington Church Road Miamisburg, Ohio 45342		
PARCEL NUMBER(S) - REQUIRED IF NO STREET ADDRESS K45 02603 0005		RECEIVED AMOUNT / CHECK #
APPLYING FOR A MAJOR MODIFICATION TO THE FOLLOWING AREA COVERED BY AN EXISTING PLAN <input checked="" type="checkbox"/> ALL <input type="checkbox"/> PHASE / SECTION _____	AREA (S) CURRENTLY ZONED PD-5	CASE NUMBER (S)
PREFERRED CONTACT METHOD <input checked="" type="checkbox"/> EMAIL PREFERRED <input type="checkbox"/> PHONE PREFERRED	EMAIL cbalash@mspdesign.com PHONE 513.759.3279	ZC MEETING DATE
OWNER CONTACT INFORMATION		
OWNER NAME Matt Baker (Dayton Christian School)		OWNER PHONE 937.291.7201

LOCATION OF LAND
THE AREA OF LAND SOUGHT FOR MODIFICATION CONTAINS <u>43.57</u> (ACRES / SQ FT) AND IS LOCATED ALONG THE NORTH SOUTH EAST WEST SIDE OF <u>Washington Church Road</u> (STREET NAME) AND APPROX <u>300</u> (FEET) NORTH SOUTH EAST WEST OF <u>Spring Valley Road</u> (STREET NAME).
THE AREA OF LAND FOR CONSIDERATION IS FURTHER DESCRIBED ON MICROFICHE # _____ AND/OR DEED BOOK # <u>2310</u> PAGE # <u>388</u> AND IS LOCATED IN MIAMI TOWNSHIP, MONTGOMERY COUNTY, OHIO IN SECTION <u>11</u> TOWN <u>2 east</u> AND RANGE <u>5 north</u> .

TOTAL LAND AREA OF DEVELOPMENT AND/OR TOTAL MODIFICATION AREA	
ENTIRE DEVELOPMENT (ACRES / SQ FT) 43.57 AC	TOTAL MODIFICATION REQUEST AREA (ACRES / SQ FT) 15.30 AC

Final Development Plan / Major Modification Application

Development Plan Approval

The applicant shall prepare a definitive statement on how this project will maintain compliance with each of these particular requirements. Please complete questions below or attach the necessary information and/or materials that show all necessary requirements are met.

<p>Describe here or attach your schedule of development for this portion of the project. The development must be substantially completed within the period of time specified.</p>	<p>Improvements to the existing Dayton Christian School athletic fields are to be complete and operational by November 2026.</p>
<p>What covenants, easements, or other provisions are provided in the planned development to protect the public health, safety, morals, and general welfare? (These may include such items as utility and drainage easements, homeowner's association rules, or landscape buffers and other design criteria. All easements, buffers, etc. must be shown clearly on the plan drawing.)</p>	<p>All existing easements, buffers, and portions of the property located outside the project area will remain unchanged. A detention basin and storm sewer easement will be established with SouthBrook Christian Church to address responsibilities for the pond expansion.</p>
<p>Traffic control signals must be provided without expense to Montgomery County when the County Engineer determines that such signals are required to prevent traffic hazards or congestion in adjacent streets. Please provide any comments.</p>	<p>No new traffic signals or changes to adjacent roadways are proposed at this time.</p>
<p>The streets and driveways on the site of the proposed development must be adequate to serve the residents or occupants of the proposed development. How does your proposal meet this standard?</p>	<p>No off-site improvements are proposed currently.</p>
<p>Adequate access roads, or entrance and exit drives, shall be provided and shall be so designed as to prevent traffic hazards and to minimize traffic conflicts and congestion in public streets and alleys. How does your proposal meet this standard?</p>	<p>No off-site improvements are proposed currently.</p>
<p>The location and arrangement of structures, parking areas, walks, lighting and appurtenant facilities shall be compatible with the surrounding land uses. How does your proposal meet this standard?</p>	<p>All pedestrian walkways in proposed improvements are within the bounds of the existing school property. Existing parking and drives are to remain. Sound system will be facing west to reduce sound to neighborhood to east of Washing Church Road.</p>
<p>Any part of a Planned Development not used for structures, parking and loading areas, or access ways, shall be landscaped, designated as permanent open space or otherwise improved. How does your proposal meet this standard? (Plan drawing must clearly show compliance with this standard.)</p>	<p>Open field areas not receiving new paving or synthetic play surface will be planted with grasses as on existing open field areas. Landscaping shall comply with existing PUD covenants.</p>

MS 1-13-26
Initial & Date

Final Development Plan / Major Modification Application

<p>When business or manufacturing structures or uses in a Planned Development District about a Residential District, screening shall be provided as stated in the zoning resolution. Additional screening may be required in order to meet the other standards in this application. How does your proposal meet this standard? (Plan drawing must clearly show compliance with this standard.)</p>	<p>No business or manufacturing is proposed. Existing land-use to remain as-is. Existing property perimeter to remain, and be maintained in accordance with the existing PUD covenants.</p>
<p>A business or manufacturing structure in a Planned Development District cannot be located nearer than one hundred (100) feet to a residential building. How does your proposal meet this standard? (Plan drawing must clearly show compliance with this standard.)</p>	<p>Not applicable. No business or manufacturing structure is proposed. Proposed track and field (soccer and football) to support existing school.</p>

Other Considerations

<p>What is the relationship of the proposed use to adjacent properties and land uses?</p>	<p>School is remaining in place.</p>
<p>The Planned Development must comply with Montgomery County storm water requirements. How does your proposal meet this requirement?</p>	<p>The existing stormwater system shall remain in place. All improved areas will be collected and conveyed into a new underground storm drain system that outlets to a detention facility designed to meet all applicable Montgomery County stormwater management requirements.</p>
<p>What provisions have been or will be made for the care and maintenance of common open space and/or recreational facilities? (Attach copies of any restrictive covenants to be recorded and also any proposed bylaws and articles of incorporation for entity responsible for common open space.)</p>	<p>The project is a private school and does not provide public recreational facilities. A detention basin and storm sewer easement will be established with Southbrook Christian Church to maintain the detention pond expansion.</p>

Narrative of Request

In your own words, please **clearly describe** the request to which you are seeking approval ***in detail*** below. (If there is not enough space, please attach a separate sheet of paper describing your request.)

DCS is committed to delivering the highest quality educational experience for its students, supported by programs and facilities that foster growth through athletics and physical fitness.

The project will maintain compatibility with the surrounding residential neighborhood, with no change to the property's existing use.

In developing these amenities, DCS will strive to minimize any potential impacts on adjacent neighbors to the greatest extent possible.

 1-13-24
Initial & Date

Final Development Plan / Major Modification Application

AFFIDAVIT – Attach additional signature pages, if needed

Before completing this application and executing the following affidavit, it is recommended that this application be discussed with the Staff of the Miami Township Zoning Commission. All persons listed on the recorded deed, must sign this affidavit.

OWNER AND APPLICANT'S AFFIDAVIT – Miami Township

STATE OF OHIO, COUNTY OF MONTGOMERY

(I/We) Matt Baker (Dayton Christian School) being duly sworn, depose and say that I am/we are all the owner(s)/lessee(s) of land included in the application and that the foregoing statement herein contained and attached, and information or attached exhibits thoroughly to the best of my/our ability present the arguments in behalf of the application herewith submitted and that the statements and attached exhibits above referred to are in all respects true and correct to the best of my/our knowledge and belief.

[Signature] (signature) _____ (signature)

Matt Baker (printed name) _____ (printed name)

9391 Washington Church Rd. 45342 (mailing address) _____ (mailing address)

Phone: 937-291-7208 Phone: _____

Subscribed and sworn to before me this 13 day of JANUARY, 2026.

[Signature]
Notary Public

Person to be contacted for details, other than above signatory:

Chris Balash
(printed name)

3700 Park 42 Drive, Suite 190B | Cincinnati, Ohio 45241
(mailing address)

Phone: Chris Balash



Sylvia M. Anglin
Notary Public, State of Ohio
My Commission Expires:
October 6, 2027

MB 1-13-26
Initial & Date

Final Development Plan / Major Modification Application

Miami Township Standard Zoning Commission Process

Pre-Application Meeting with the Staff of the Miami Township Planning & Zoning Department (Recommended). The Staff is under no obligation to provide a formal recommendation at the time of the pre-application meeting, and any formal staff recommendation will be made only upon submission and review of a completed application. No statement made by Staff is binding on either the Zoning Commission or the Board of Trustees.

Submission of Completed Application. All documents and plan drawings must be submitted at this time. (See Submission Requirements Sheet)

Legal Notices are Prepared and placed in the newspaper and/or mailed to residents as required by the Miami Township Zoning Resolution.

Staff Report is Prepared and submitted along with application materials to the Miami Township Zoning Commission.

Hearing by Zoning Commission

- The case is placed on the agenda by the Staff. The chair of the Zoning Commission may modify the order in which cases are heard at his/her discretion.
- The Zoning Commission opens the case.
- All speakers should speak only to the Zoning Commission and the Chairman may establish a time limit on speakers. Upon request, the chair may authorize questions of the Staff.
- A staff report is presented by one of the members of the Planning & Zoning Department. This will include a reading of the Montgomery County Planning Commission recommendation, if such recommendation was required for the case.
- The applicants or their representative presents the case to the Zoning Commission.
- Proponents of the case are given an opportunity to speak.
- Opponents of the case are given an opportunity to speak
- The Zoning Commission will close the public hearing and enter into deliberations on the case. Planned Development requests may require a review of the Findings of Fact standards of Article 31.
- The Zoning Commission will make a motion that the case be approved, denied, or approved with modifications or conditions.



1-13-28 (wd)
Initial & Date

Final Development Plan / Major Modification Application

Information

Each applicant and property owner should review the latest comprehensive planning documents and zoning resolution available for the area proposed for rezoning or modification prior to submittal of an application.

The application, and any other relevant information, may be submitted to outside agencies and organizations, both public and private, that the Staff, Zoning Commission, or Board of Trustees desire to have review said materials. These may include, but are not limited to, the Ohio Department of Transportation, Montgomery County, local school districts, and local utilities. This review in no way removes the applicant's responsibility to ensure compliance with the rules and/or regulations of any of these outside agencies or organizations.



The staff of Miami Township may drive by the property and take photos of the property. Aerial photography of the site may also be utilized in reviewing an application.

All materials submitted as part of this application are public record and will be made available for review upon request of any interested party. Inaccurate or incomplete information provided with or within the application package may delay the processing of the application and/or delay any scheduled public hearings. The Zoning Commission and/or Board of Trustees may table the case due to missing or incomplete information.

Applicants are expected to attend all public hearings regarding the application, and a failure to appear could result in the postponement of action on the application, and final action will be left to the discretion of the Zoning Commission or Board of Trustees within the constraints of the Miami Township Zoning Resolution.

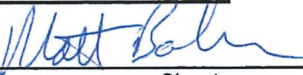
I/we the undersigned owners and applicants do hereby declare that I/we have read the information provided within this application packet and have initialed each page. I/we further understand that each request is unique and may require additional information.

Signature of Owners and Applicants

 _____ <i>Signature</i>	Matt Baker _____ <i>Printed Name</i>	01-13-26 _____ <i>Date</i>
 _____ <i>Signature</i>	Chris Balash _____ <i>Printed Name</i>	01-13-26 _____ <i>Date</i>

I/we (do do not) authorize the staff, Zoning Commission, and Board of Trustees members to enter the property for the purpose of this case and to take photographs as necessary.

Signature of Owners

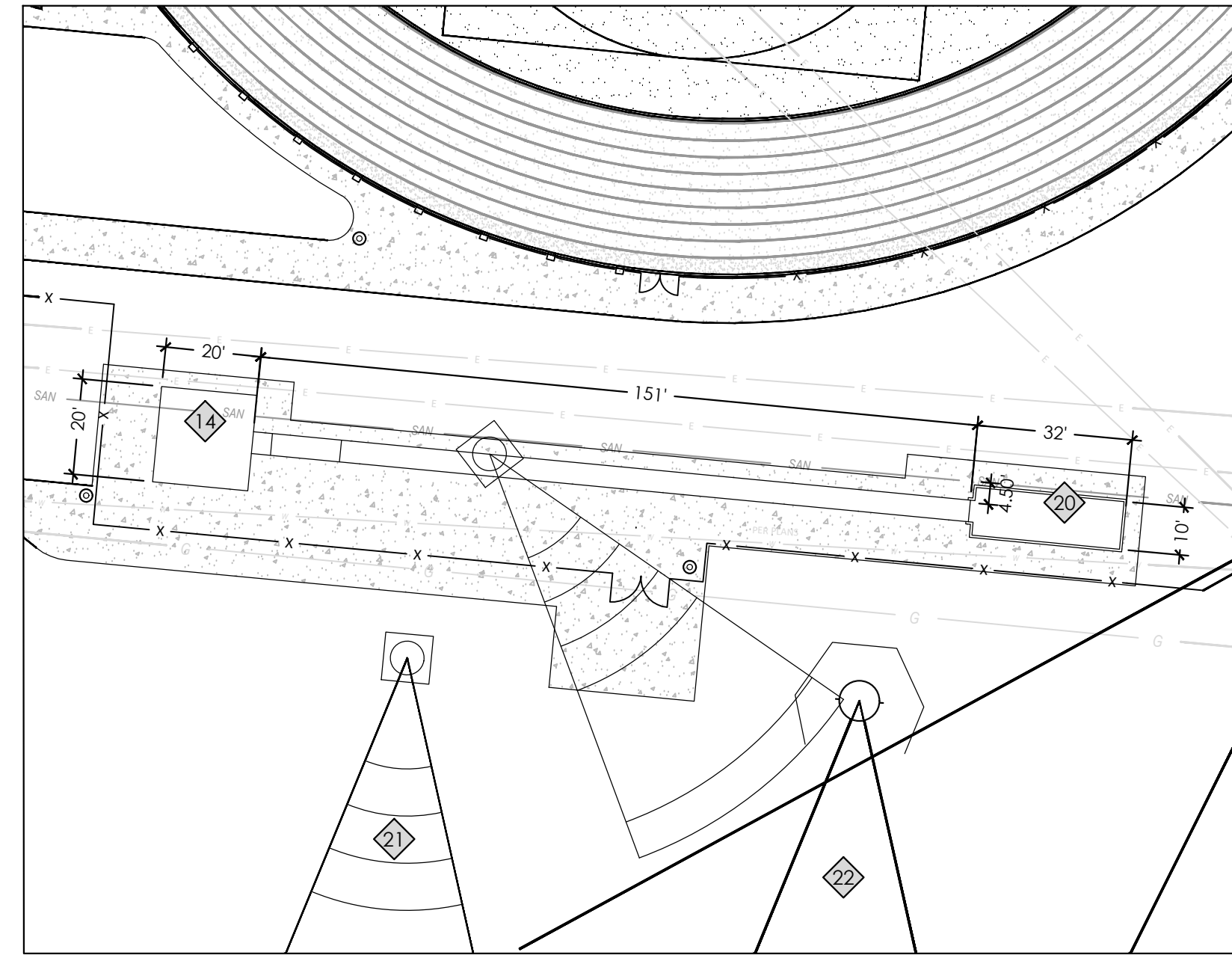
 _____ <i>Signature</i>	Matt Baker _____ <i>Printed Name</i>	01-13-26 _____ <i>Date</i>
_____ <i>Signature</i>	_____ <i>Printed Name</i>	_____ <i>Date</i>

 01-13-26

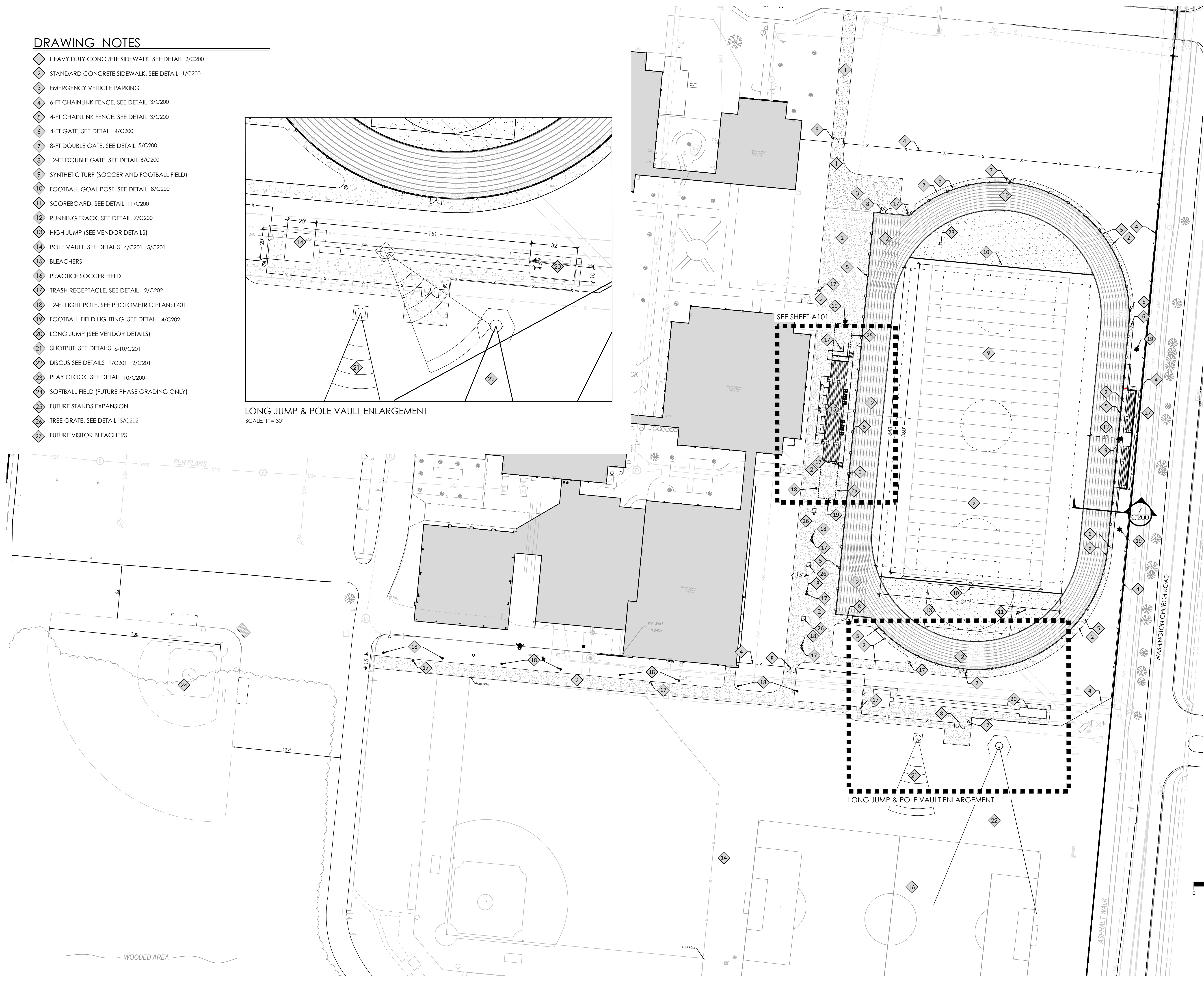
Initial & Date

DRAWING NOTES

- 1 HEAVY DUTY CONCRETE SIDEWALK. SEE DETAIL 2/C200
- 2 STANDARD CONCRETE SIDEWALK. SEE DETAIL 1/C200
- 3 EMERGENCY VEHICLE PARKING
- 4 6-FT CHAINLINK FENCE. SEE DETAIL 3/C200
- 5 4-FT CHAINLINK FENCE. SEE DETAIL 3/C200
- 6 4-FT GATE. SEE DETAIL 4/C200
- 7 8-FT DOUBLE GATE. SEE DETAIL 5/C200
- 8 12-FT DOUBLE GATE. SEE DETAIL 6/C200
- 9 SYNTHETIC TURF (SOCCER AND FOOTBALL FIELD)
- 10 FOOTBALL GOAL POST. SEE DETAIL 8/C200
- 11 SCOREBOARD. SEE DETAIL 11/C200
- 12 RUNNING TRACK. SEE DETAIL 7/C200
- 13 HIGH JUMP (SEE VENDOR DETAILS)
- 14 POLE VAULT. SEE DETAILS 4/C201 5/C201
- 15 BLEACHERS
- 16 PRACTICE SOCCER FIELD
- 17 TRASH RECEPTACLE. SEE DETAIL 2/C202
- 18 12-FT LIGHT POLE. SEE PHOTOMETRIC PLAN: L401
- 19 FOOTBALL FIELD LIGHTING. SEE DETAIL 4/C202
- 20 LONG JUMP (SEE VENDOR DETAILS)
- 21 SHOTPUT. SEE DETAILS 6-10/C201
- 22 DISCUS SEE DETAILS 1/C201 2/C201
- 23 PLAY CLOCK. SEE DETAIL 10/C200
- 24 SOFTBALL FIELD (FUTURE PHASE GRADING ONLY)
- 25 FUTURE STANDS EXPANSION
- 26 TREE GRATE. SEE DETAIL 3/C202
- 27 FUTURE VISITOR BLEACHERS



LONG JUMP & POLE VAULT ENLARGEMENT
SCALE: 1" = 30'



Project Manager JMW
Drawn By LB
DWG 25423016-IMP - FDP
X-Ref(s) ---

Issue/Revision	No.	Date
BID ISSUE		01/28/26

© Copyright 2026, MCGILL SMITH PUNSHON, INC.

DAYTON CHRISTIAN SCHOOL
SPORT FIELD IMPROVEMENTS
9391 WASHINGTON CHURCH RD
MIAMISBURG, OHIO 45342
MONTGOMERY COUNTY

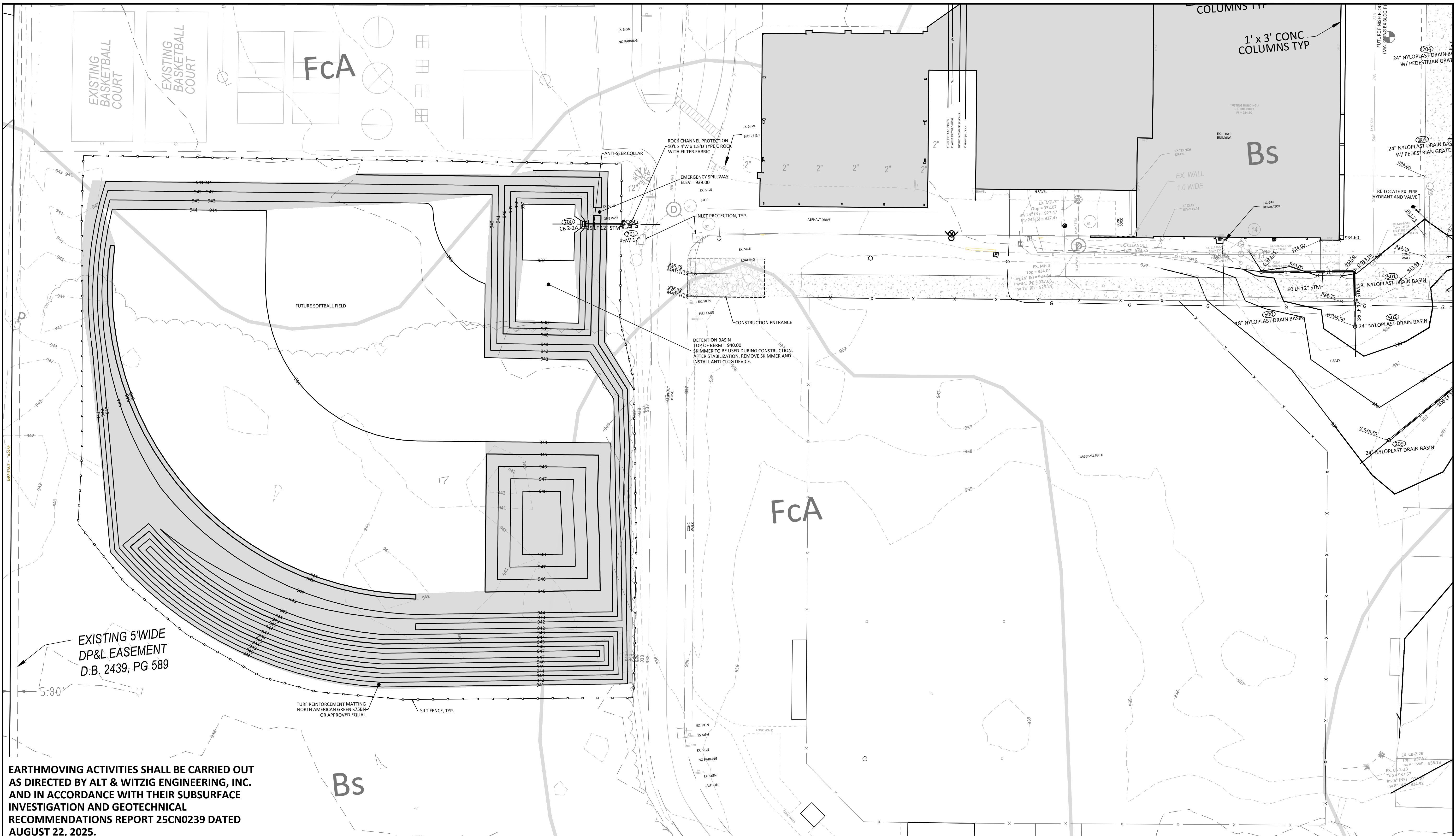
Sheet Title

SITE LAYOUT PLAN

Project Number 25423.01
Drawing Scale 1" = 50'
Sheet Number C101
File Number 25423



N:\land projects\25000\25423\dwg\25423016-IMP - FDP.dwg, C101, 3/4/2026 8:29:59 AM, chris.balish



EARTHMOVING ACTIVITIES SHALL BE CARRIED OUT AS DIRECTED BY ALT & WITZIG ENGINEERING, INC. AND IN ACCORDANCE WITH THEIR SUBSURFACE INVESTIGATION AND GEOTECHNICAL RECOMMENDATIONS REPORT 25CN0239 DATED AUGUST 22, 2025.

• BORING (APPROXIMATE LOCATION)

SWPPP NOTES

- PROJECT INVOLVES THE CONSTRUCTION OF A SYNTHETIC TURF FIELD AND TRACK, MASS GRADING FOR A FUTURE SOFTBALL FIELD, SIDEWALKS AND STORMWATER MANAGEMENT FACILITIES.
- AREA TO BE DISTURBED IS APPROXIMATELY 15.3 ACRES.
- APPROXIMATE POST-CONSTRUCTION IMPERVIOUS AREA IS 16.18 ACRES.
- THE PREDOMINANT SOIL TYPE IS BROOKSTONE SILTY CLAY LOAM, FINCASTLE SILT LOAM, XENIA SILT LOAM.
- HOLES CREEK IS THE FIRST NAMED STREAM RECEIVING RUNOFF FROM THIS SITE.
- CONSTRUCTION NOI OHIO EPA FACILITY PERMIT NUMBER: TBD
- PROJECT DURATION: THRU 2026
- SITE OPERATOR: MATT BAKER
DAYTON CHRISTIAN SCHOOL
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
- SWPPP CONTACT: MATT BAKER
DAYTON CHRISTIAN SCHOOL
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE ODNR RAINWATER AND LAND DEVELOPMENT MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- THE OWNER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OCH000006 AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
- THE SWPPP PLAN, NOI APPLICATION, AND LETTER GRANTING PERMIT COVERAGE SHALL BE RETAINED ON SITE AT ALL TIMES IN THE PROJECT TRAILER AND SHALL BE MADE AVAILABLE IMMEDIATELY UPON REQUEST OF THE OHIO EPA DIRECTOR OR HIS AUTHORIZED REPRESENTATIVE DURING WORKING HOURS.

- SEDIMENT & EROSION CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF MONTGOMERY COUNTY.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS, PERIMETER SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE.
- ALL MUD OR DIRT TRACKED ONTO ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED. STREET SWEEPING AND TOP DRESSING THE STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY AND SHALL REMAIN FUNCTIONAL UNTIL THE DEVELOPMENT AREA IS STABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROL MUST BE PLACED AND EXISTING CONTROLS MUST BE ALTERED TO ADDRESS CHANGING DRAINAGE PATTERNS.
- ALL GROUND SURFACES THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITY AND ARE TO FINAL GRADE SHALL BE SEEDED AND MULCHED OR STABILIZED WITHIN 7 DAYS IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659 AND IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES STORM WATER GENERAL PERMIT.
- THE ENGINEER OF RECORD IS TO COMPLETE THE OHIO EPA CHECKLIST FOR CONSTRUCTION ACTIVITIES (OHC000006) AND SUBMIT IT WITH THE SWPPP DURING THE PLAN DEVELOPMENT STAGE.
- THE OWNER AND CONTRACTOR BEAR SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE APPROVED PLANS, FIELD INSPECTION AND QUALITY OF WORK.

CONSTRUCTION SEQUENCE

- INSTALL STONE CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS.
- INSTALL STORMWATER MANAGEMENT SYSTEM.
- SITE GRADING AND INSTALLATION OF UTILITIES.
- TEMPORARY VEGETATIVE STABILIZATION OF EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROLS MEASURES.

GRADING PLAN NOTES

- CUT/FILLS & BULK EARTHWORK FOR THE SITE MUST BE PERFORMED UNDER THE OBSERVATION & GUIDANCE OF A STATE OF OHIO REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS TO CONFIRM ALL EXISTING UTILITY LOCATIONS AND PROTECT THEM FROM DAMAGE. IF DISCREPANCIES EXIST, NOTIFY THE PROPER UTILITY COMPANY OR AGENCY. RELOCATION OF EXISTING UTILITIES WILL BE DONE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY RULES AND REGULATIONS.
- A PRE-CONSTRUCTION MEETING IS REQUIRED WITH A REPRESENTATIVE OF THE OWNER/DEVELOPER, GENERAL CONTRACTOR AND THE INSPECTOR.
- ESTABLISH VEGETATION ON ALL BARE AREAS AS PER O.E.P.A., N.P.D.E.S. REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. INSPECTIONS DURING CONSTRUCTION.
- EROSION AND SEDIMENT CONTROLS SHALL BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SILT FENCE SHOULD BE USED AS A TEMPORARY MEASURE AGAINST SILT BEING WASHED ONTO THE ADJACENT PROPERTIES AND POND.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ADJACENT PUBLIC ROADS & PRIVATE DRIVES CLEAN AND FREE OF MUD AND DEBRIS.
- RELOCATE AND RE-ESTABLISH CONSTRUCTION ENTRANCE AS NECESSARY TO ACCOMMODATE DEMOLITION WORK, BUILDING CONSTRUCTION AND UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL INITIATE EROSION & SEDIMENT CONTROL PRACTICES ON ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS IF THE DISTURBED AREAS ARE TO REMAIN UNDISTURBED FOR MORE THAN TWENTY-ONE (21) DAYS.
- TEMPORARY EROSION, MUD AND DEBRIS CONTROL USING SILT FENCE MUST BE PROVIDED AT ALL EXISTING AND PROPOSED OUTLET DITCHES SWALES, WATERCOURSES OR TEMPORARY PIPE OUTLETS WITHIN THE SITE LIMITS. EXCESS BUILD UP OF SEDIMENT AND DEBRIS DEPOSITED AT THESE TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED WHEN HALF FULL OF SEDIMENT AND DEBRIS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.
- UPON COMPLETION OF CONSTRUCTION, REMOVE AND PROPERLY DISPOSE OF ALL EROSION AND SEDIMENT CONTROL BMP'S AND STABILIZE ALL DISTURBED AREAS.

EROSION AND SEDIMENT CONTROL NOTES

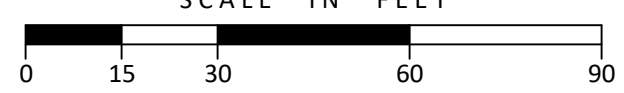
- EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AS FOLLOWS:
 - INSPECTION SHALL BE WEEKLY AND AFTER RAINFALL THAT EXCEEDS 0.5 INCHES IN 24 HOURS.
 - CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED EROSION CONTROL BARRIERS, END RUNS, AND THE UNDERCUTTING OF BARRIERS BY RUNOFF.
 - SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION HAS REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL BARRIER IS NOT LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE APPROPRIATE GRADE ELEVATION, PREPARED AND SEEDED.
 - THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF MUD AND DIRT BEING TRACKED ONTO THE STREETS BY INSTITUTING BEST MANAGEMENT PRACTICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST PER ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS ITEM 616.

CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. REQUIREMENTS DURING CONSTRUCTION PERIOD.

DUE TO THE DYNAMICS AND STAGING OF EARTH MOVEMENT. CONTRACTOR MAY NEED TO ALTER THE EROSION CONTROL MEASURES AS SHOWN HEREON. CONTRACTOR TO APPLY (B.M.P.) BEST MANAGEMENT PRACTICES IN ORDER TO CONTROL THE RUNOFF OF SILT AND SEDIMENT.

ADDITIONAL SILT FENCE MAY BE REQUIRED AS SITE CONDITIONS DETERMINE.
IF A TEMPORARY STOCKPILE IS CREATED, SILT FENCE SHALL BE PLACED AT THE TOE OF SLOPE.

MONTGOMERY COUNTY, OHIO (OH113)	
MAP UNIT SYMBOL	MAP UNIT NAME
Bs	BROOKSTONE SILTY CLAY LOAM, FINE TEXTURE, 0 TO 2% SLOPES
FCA	FINCASTLE SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2% SLOPES
XsB	XENIA SILT LOAM, SOUTHERN OHIO TILL PLAIN, 2 TO 6% SLOPES



OHIO811.org
Be Safe. You Dig.
811 OR 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

DAYTON CHRISTIAN SCHOOL
SPORT FIELD IMPROVEMENTS
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
MONTGOMERY COUNTY

Issue/Revision	No.	Date
FDP SUBMITTAL		03/03/26

**DAYTON CHRISTIAN SCHOOL
SPORT FIELD IMPROVEMENTS**
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
MONTGOMERY COUNTY

Sheet Title

IMPROVEMENT PLAN

Project Number 25423.01
Drawing Scale 1" = 30'
Sheet Number C103
File Number 25423

SWPPP NOTES

- PROJECT INVOLVES THE CONSTRUCTION OF A SYNTHETIC TURF FIELD AND TRACK, MASS GRADING FOR A FUTURE SOFTBALL FIELD, SIDEWALKS AND STORMWATER MANAGEMENT FACILITIES.
 - AREA TO BE DISTURBED IS APPROXIMATELY 15.3 ACRES.
 - APPROXIMATE POST-CONSTRUCTION IMPERVIOUS AREA IS 16.18 ACRES.
 - THE PREDOMINANT SOIL TYPE IS BROOKSTON SILTY CLAY LOAM, FINCASTLE SILT LOAM, XENIA SILT LOAM.
 - HOLDS CREEK IS THE FIRST NAMED STREAM RECEIVING RUNOFF FROM THIS SITE.
 - CONSTRUCTION NOI OHIO EPA FACILITY PERMIT NUMBER: TBD
 - PROJECT DURATION: THRU 2026
 - SITE OPERATOR: MATT BAKER
DAYTON CHRISTIAN SCHOOL
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
- SWPPP CONTACT: MATT BAKER
DAYTON CHRISTIAN SCHOOL
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE ODNR RAINWATER AND LAND DEVELOPMENT MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
 - THE OWNER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. 25423014-IMP FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
 - THE SWP3 PLAN, NOI APPLICATION, AND LETTER GRANTING PERMIT COVERAGE SHALL BE RETAINED ON SITE AT ALL TIMES IN THE PROJECT TRAILER AND SHALL BE MADE AVAILABLE IMMEDIATELY UPON REQUEST OF THE OHIO EPA DIRECTOR OR HIS AUTHORIZED REPRESENTATIVE DURING WORKING HOURS.
 - SEDIMENT & EROSION CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF MONTGOMERY COUNTY.
 - PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS, PERIMETER SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE.
 - ALL MUD OR DIRT TRACKED ONTO ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED. STREET SWEEPING AND TOP DRESSING THE STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED.
 - SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY AND SHALL REMAIN FUNCTIONAL UNTIL THE DEVELOPMENT AREA IS STABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROL MUST BE PLACED AND EXISTING CONTROLS MUST BE ALTERED TO ADDRESS CHANGING DRAINAGE PATTERNS.
 - ALL GROUND SURFACES THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITY AND ARE TO REMAIN BARE SHALL BE SEEDED AND MULCHED OR STABILIZED WITHIN 7 DAYS IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659 AND IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES STORM WATER GENERAL PERMIT.
 - THE ENGINEER OF RECORD IS TO COMPLETE THE OHIO EPA CHECKLIST FOR CONSTRUCTION ACTIVITIES (OHCD0000) AND SUBMIT IT WITH THE SWPPP DURING THE PLAN DEVELOPMENT STAGE.
 - THE OWNER AND CONTRACTOR BEAR SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE APPROVED PLANS, FIELD INSPECTION AND QUALITY OF WORK.

GRADING PLAN NOTES

- CUT/FILLS & BULK EARTHWORK FOR THE SITE MUST BE PERFORMED UNDER THE OBSERVATION & GUIDANCE OF A STATE OF OHIO REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS TO CONFIRM ALL EXISTING UTILITY LOCATIONS AND PROTECT THEM FROM DAMAGE. IF DISCREPANCIES EXIST, NOTIFY THE PROPER UTILITY COMPANY OR AGENCY. RELOCATION OF EXISTING UTILITIES WILL BE DONE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY RULES AND REGULATIONS.
- A PRE-CONSTRUCTION MEETING IS REQUIRED WITH A REPRESENTATIVE OF THE OWNER/DEVELOPER, GENERAL CONTRACTOR AND THE ENGINEER OF RECORD.
- ESTABLISH VEGETATION ON ALL BARE AREAS AS PER O.E.P.A., N.P.D.E.S. REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. INSPECTIONS DURING CONSTRUCTION.
- EROSION AND SEDIMENT CONTROLS SHALL BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SILT FENCE SHOULD BE USED AS A TEMPORARY MEASURE AGAINST SILT BEING WASHED ONTO THE ADJACENT PROPERTIES AND POND.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ADJACENT PUBLIC ROADS & PRIVATE DRIVES CLEAN AND FREE OF MUD AND DEBRIS.
- RELOCATE AND RE-ESTABLISH CONSTRUCTION ENTRANCE AS NECESSARY TO ACCOMMODATE DEMOLITION WORK, BUILDING CONSTRUCTION AND UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL INITIATE EROSION & SEDIMENT CONTROL PRACTICES ON ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS IF THE DISTURBED AREAS ARE TO REMAIN UNDISTURBED FOR MORE THAN TWENTY-ONE (21) DAYS.
- TEMPORARY EROSION, MUD AND DEBRIS CONTROL USING SILT FENCE MUST BE PROVIDED AT ALL EXISTING AND PROPOSED OUTLET DITCHES SWALES, WATERCOURSES OR TEMPORARY PIPE OUTLETS WITHIN THE SITE LIMITS. EXCESS BUILD UP OF SEDIMENT AND DEBRIS DEPOSITED AT THESE TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED WHEN HALF FULL OF SEDIMENT AND DEBRIS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS AND REGULATIONS.
- UPON COMPLETION OF CONSTRUCTION, REMOVE AND PROPERLY DISPOSE OF ALL EROSION AND SEDIMENT CONTROL BMP'S AND STABILIZE ALL DISTURBED AREAS.

EROSION AND SEDIMENT CONTROL NOTES

- EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AS FOLLOWS:
 - INSPECTION SHALL BE WEEKLY AND AFTER RAINFALL THAT EXCEEDS 0.5 INCHES IN 24 HOURS.
 - CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED EROSION CONTROL BARRIERS, END RUNS, AND THE UNDERCUTTING OF BARRIERS BY RUNOFF.
 - SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION HAS REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL BARRIER IS NOT LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE APPROPRIATE GRADE ELEVATION, PREPARED AND SEEDED.
 - THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF MUD AND DIRT BEING TRACKED ONTO THE STREETS BY INSTITUTING BEST MANAGEMENT PRACTICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST PER ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS ITEM 616.

CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. REQUIREMENTS DURING CONSTRUCTION PERIOD.

DUE TO THE DYNAMICS AND STAGING OF EARTH MOVEMENT. CONTRACTOR MAY NEED TO ALTER THE EROSION CONTROL MEASURES AS SHOWN HEREON. CONTRACTOR TO APPLY (B.M.P.) BEST MANAGEMENT PRACTICES IN ORDER TO CONTROL THE RUNOFF OF SILT AND SEDIMENT.

ADDITIONAL SILT FENCE MAY BE REQUIRED AS SITE CONDITIONS DETERMINE.

IF A TEMPORARY STOCKPILE IS CREATED, SILT FENCE SHALL BE PLACED AT THE TOE OF SLOPE.

CONSTRUCTION SEQUENCE

- INSTALL STONE CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS.
- INSTALL STORMWATER MANAGEMENT SYSTEM.
- SITE GRADING AND INSTALLATION OF UTILITIES.
- TEMPORARY VEGETATIVE STABILIZATION OF EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROLS MEASURES.

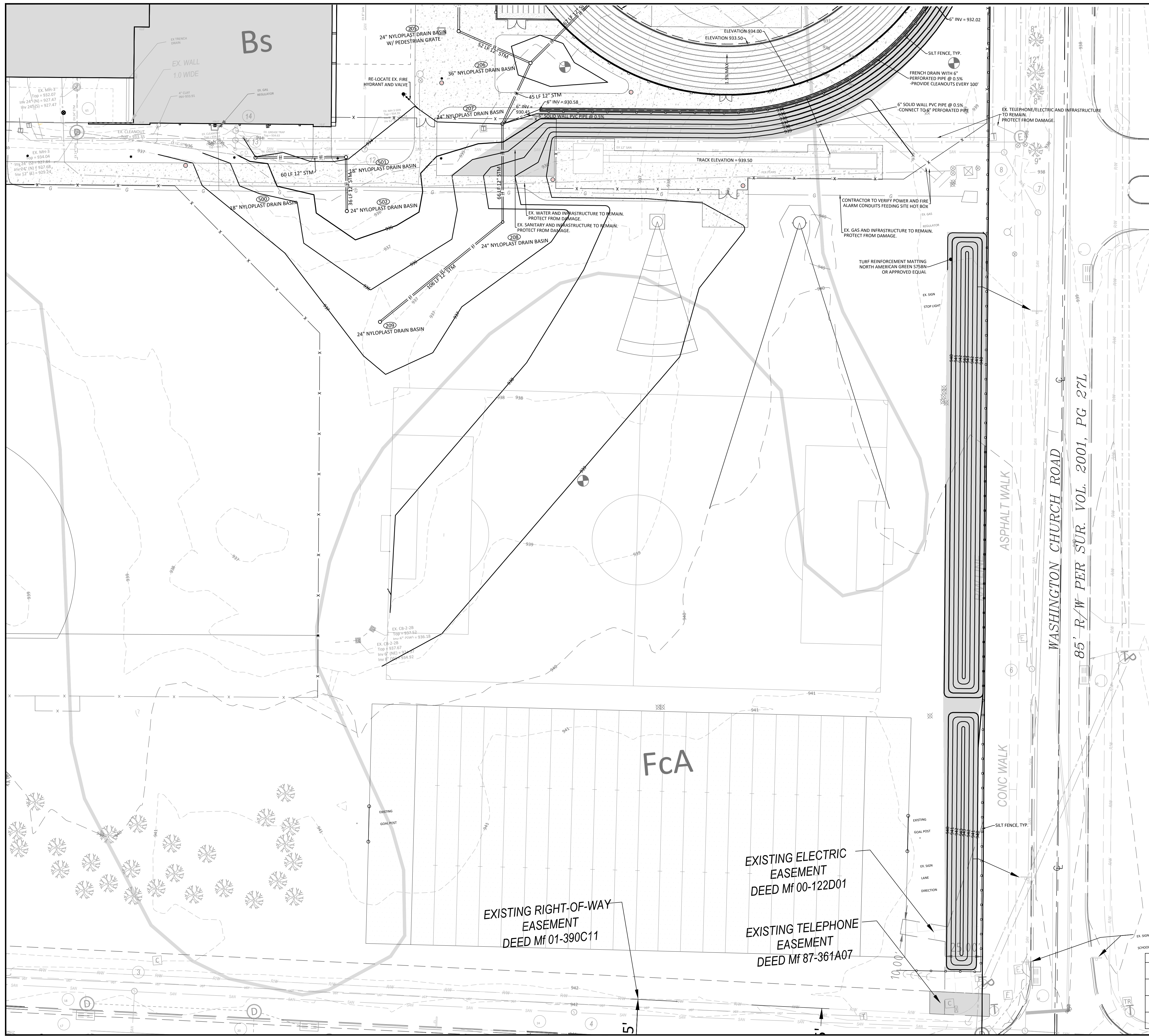
EARTHMOVING ACTIVITIES SHALL BE CARRIED OUT AS DIRECTED BY ALT & WITZIG ENGINEERING, INC. AND IN ACCORDANCE WITH THEIR SUBSURFACE INVESTIGATION AND GEOTECHNICAL RECOMMENDATIONS REPORT 25CN0239 DATED AUGUST 22, 2025.

• BORING (APPROXIMATE LOCATION)

SCALE IN FEET

MONTGOMERY COUNTY, OHIO (OH113)	
MAP UNIT SYMBOL	MAP UNIT NAME
Bs	BROOKSTON SILTY CLAY LOAM, FINE TEXTURE, 0 TO 2% SLOPES
Fca	FINCASTLE SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2% SLOPES
XeB	XENIA SILT LOAM, SOUTHERN OHIO TILL PLAIN, 2 TO 6% SLOPES

OHIO811.org
Before You Dig
811 OR 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG (NON MEMBERS MUST BE CALLED DIRECTLY)



**DAYTON CHRISTIAN SCHOOL
SPORT FIELD IMPROVEMENTS**
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
MONTGOMERY COUNTY

SWPPP NOTES

- PROJECT INVOLVES THE CONSTRUCTION OF A SYNTHETIC TURF FIELD AND TRACK, MASS GRADING FOR A FUTURE SOFTBALL FIELD, SIDEWALKS AND STORMWATER MANAGEMENT FACILITIES.
- AREA TO BE DISTURBED IS APPROXIMATELY 15.3 ACRES.
- APPROXIMATE POST-CONSTRUCTION IMPERVIOUS AREA IS 16.18 ACRES.
- THE PREDOMINANT SOIL TYPE IS BROOKSTON SILTY CLAY LOAM, FINCASTLE SILT LOAM, XENIA SILT LOAM.
- HOLDS CREEK IS THE FIRST NAMED STREAM RECEIVING RUNOFF FROM THIS SITE.
- CONSTRUCTION NOI OHIO EPA FACILITY PERMIT NUMBER: TBD
- PROJECT DURATION: THRU 2026
- SITE OPERATOR:
MATT BAKER
DAYTON CHRISTIAN SCHOOL
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
- SWPPP CONTACT:
MATT BAKER
DAYTON CHRISTIAN SCHOOL
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
- UNLESS OTHERWISE NOTED, STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE ODNR RAINWATER AND LAND DEVELOPMENT MANUAL, CURRENT EDITION, SHALL GOVERN THE EROSION AND SEDIMENT CONTROL INSTALLATIONS SPECIFIED ON THIS PLAN.
- THE OWNER AND CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS SET FORTH IN THE OHIO EPA PERMIT NO. OC2000008 AUTHORITY FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM.
- THE SWPPP PLAN, NOI APPLICATION, AND LETTER GRANTING PERMIT COVERAGE SHALL BE RETAINED ON SITE AT ALL TIMES IN THE PROJECT TRAILER AND SHALL BE MADE AVAILABLE IMMEDIATELY UPON REQUEST OF THE OHIO EPA DIRECTOR OR HIS AUTHORIZED REPRESENTATIVE DURING WORKING HOURS.
- SEDIMENT & EROSION CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DISCRETION OF MONTGOMERY COUNTY.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS, PERIMETER SEDIMENTATION AND EROSION CONTROL FEATURES SHALL BE IN PLACE.
- ALL MUD OR DIRT TRACKED ONTO ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED. STREET SWEEPING AND TOP DRESSING OF THE STABILIZED CONSTRUCTION ENTRANCE IS REQUIRED.
- SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL THROUGHOUT THE COURSE OF EARTH DISTURBING ACTIVITY AND SHALL REMAIN FUNCTIONAL UNTIL THE DEVELOPMENT AREA IS STABILIZED. AS CONSTRUCTION PROGRESSES AND THE TOPOGRAPHY IS ALTERED, APPROPRIATE CONTROL MUST BE PLACED AND EXISTING CONTROLS MUST BE ALTERED TO ADDRESS CHANGING DRAINAGE PATTERNS.
- ALL GROUND SURFACES THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION ACTIVITY AND ARE TO FINAL GRADE SHALL BE SEEDED AND MULCHED OR STABILIZED WITHIN 7 DAYS IN ACCORDANCE WITH STATE OF OHIO SPECIFICATION ITEM 659 AND IN ACCORDANCE WITH THE CONDITIONS OF THE NPDES STORM WATER GENERAL PERMIT.
- THE ENGINEER OF RECORD IS TO COMPLETE THE OHIO EPA CHECKLIST FOR CONSTRUCTION ACTIVITIES (OHC000006) AND SUBMIT IT WITH THE SWPPP DURING THE PLAN DEVELOPMENT STAGE.
- THE OWNER AND CONTRACTOR BEAR SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE APPROVED PLANS, FIELD INSPECTION AND QUALITY OF WORK.

GRADING PLAN NOTES

- CUT/FILLS & BULK EARTHWORK FOR THE SITE MUST BE PERFORMED UNDER THE OBSERVATION & GUIDANCE OF A STATE OF OHIO REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER.
- THE CONTRACTOR IS TO CONFIRM ALL EXISTING UTILITY LOCATIONS AND PROTECT THEM FROM DAMAGE. IF DISCREPANCIES EXIST, NOTIFY THE PROPER UTILITY COMPANY OR AGENCY. RELOCATION OF EXISTING UTILITIES WILL BE DONE IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY RULES AND REGULATIONS.
- A PRE-CONSTRUCTION MEETING IS REQUIRED WITH A REPRESENTATIVE OF THE OWNER/DEVELOPER, GENERAL CONTRACTOR AND THE INSPECTOR.
- ESTABLISH VEGETATION ON ALL BARE AREAS AS PER O.E.P.A., N.P.D.E.S. REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. INSPECTIONS DURING CONSTRUCTION.
- EROSION AND SEDIMENT CONTROLS SHALL BE ESTABLISHED AROUND THE PERIMETER OF THE SITE BEFORE ANY EARTH DISTURBING ACTIVITIES HAVE BEGUN. SILT FENCE SHOULD BE USED AS A TEMPORARY MEASURE AGAINST SILT BEING WASHED ONTO THE ADJACENT PROPERTIES AND POND.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ADJACENT PUBLIC ROADS & PRIVATE DRIVES CLEAN AND FREE OF MUD AND DEBRIS.
- RELOCATE AND RE-ESTABLISH CONSTRUCTION ENTRANCE AS NECESSARY TO ACCOMMODATE DEMOLITION WORK, BUILDING CONSTRUCTION AND UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL INITIATE EROSION & SEDIMENT CONTROL PRACTICES ON ALL DISTURBED AREAS WITHIN SEVEN (7) DAYS IF THE DISTURBED AREAS ARE TO REMAIN UNDISTURBED FOR MORE THAN TWENTY-ONE (21) DAYS.
- TEMPORARY EROSION, MUD AND DEBRIS CONTROL USING SILT FENCE MUST BE PROVIDED AT ALL EXISTING AND PROPOSED OUTLET DITCHES-SWALES, WATERCOURSES OR TEMPORARY PIPE OUTLETS WITHIN THE SITE LIMITS. EXCESS BUILD UP OF SEDIMENT AND DEBRIS DEPOSITED AT THESE TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED WHEN HALF-FULL OF SEDIMENT AND DEBRIS.
- ALL PROPOSED SPOT ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
- SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.
- UPON COMPLETION OF CONSTRUCTION, REMOVE AND PROPERLY DISPOSE OF ALL EROSION AND SEDIMENT CONTROL BMP'S AND STABILIZE ALL DISTURBED AREAS.

EROSION AND SEDIMENT CONTROL NOTES

- EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE MAINTAINED AS FOLLOWS:
 - INSPECTION SHALL BE WEEKLY AND AFTER RAINFALL THAT EXCEEDS 0.5 INCHES IN 24 HOURS.
 - CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED EROSION CONTROL BARRIERS, END RUNS, AND THE UNDERCUTTING OF BARRIERS BY RUNOFF.
 - SEDIMENT DEPOSITS MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION HAS REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SEDIMENT CONTROL BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE APPROPRIATE GRADE ELEVATION, PREPARED AND SEED.
 - THE CONTRACTOR SHALL MINIMIZE THE AMOUNT OF MUD AND DIRT BEING TRACKED ONTO THE STREETS BY INSTITUTING BEST MANAGEMENT PRACTICES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST PER ODOT CONSTRUCTION AND MATERIALS SPECIFICATION ITEM 616.

CONTRACTOR IS RESPONSIBLE FOR N.P.D.E.S. REQUIREMENTS DURING CONSTRUCTION PERIOD.

DUE TO THE DYNAMICS AND STAGING OF EARTH MOVEMENT, CONTRACTOR MAY NEED TO ALTER THE EROSION CONTROL MEASURES AS SHOWN HEREON. CONTRACTOR TO APPLY (B.M.P.) BEST MANAGEMENT PRACTICES IN ORDER TO CONTROL THE RUNOFF OF SILT AND SEDIMENT.

ADDITIONAL SILT FENCE MAY BE REQUIRED AS SITE CONDITIONS DETERMINE.

IF A TEMPORARY STOCKPILE IS CREATED, SILT FENCE SHALL BE PLACED AT THE TOE OF SLOPE.

CONSTRUCTION SEQUENCE

- INSTALL STONE CONSTRUCTION ENTRANCE AND PERIMETER CONTROLS.
- INSTALL STORMWATER MANAGEMENT SYSTEM.
- SITE GRADING AND INSTALLATION OF UTILITIES.
- TEMPORARY VEGETATIVE STABILIZATION OF EROSION AND SEDIMENT CONTROL MEASURES.
- SITE CONSTRUCTION.
- FINAL GRADING, STABILIZATION, AND LANDSCAPING.
- REMOVAL OF EROSION AND SEDIMENT CONTROLS MEASURES.

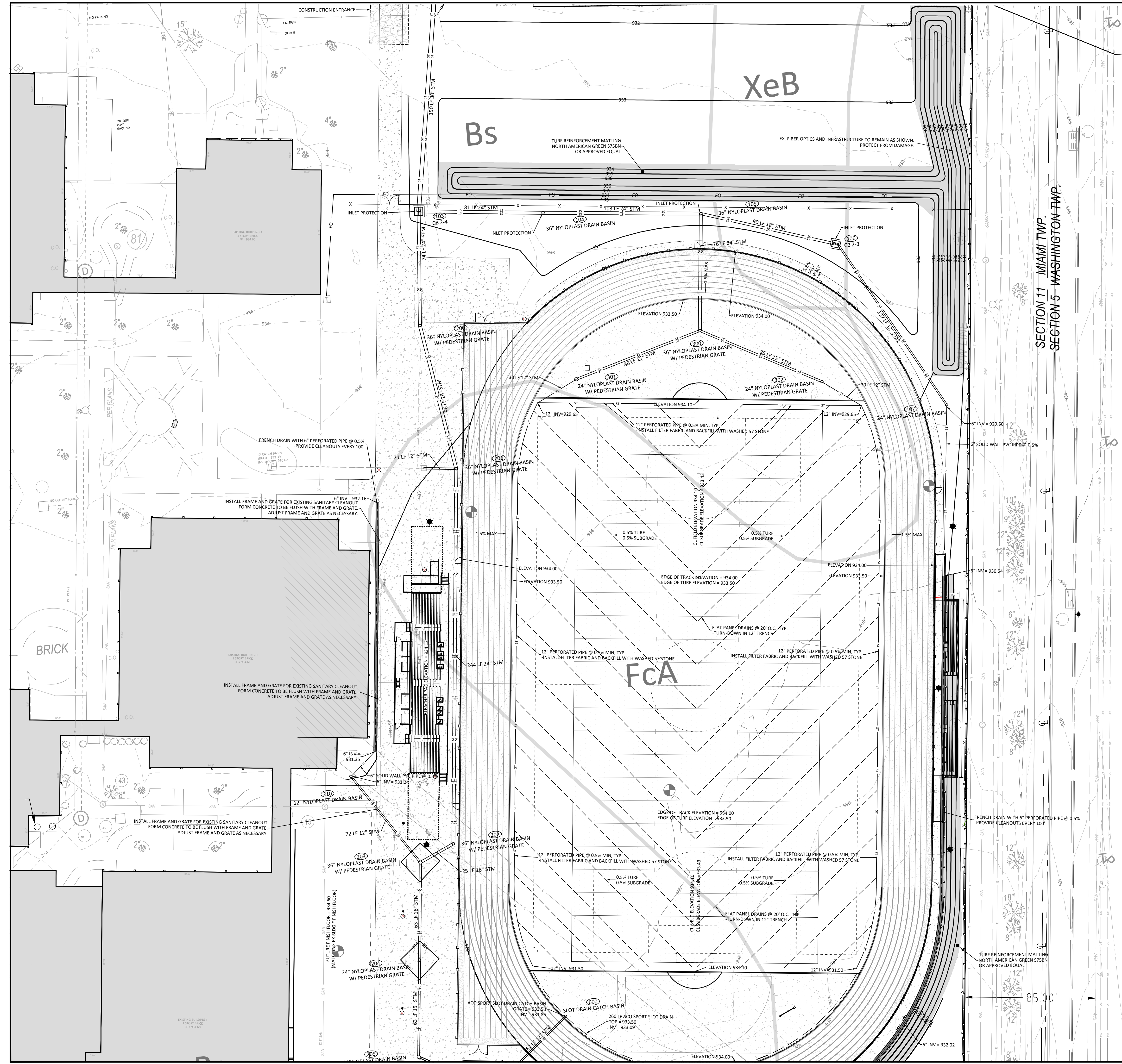
EARTHMOVING ACTIVITIES SHALL BE CARRIED OUT AS DIRECTED BY ALT & WITZIG ENGINEERING, INC. AND IN ACCORDANCE WITH THEIR SUBSURFACE INVESTIGATION AND GEOTECHNICAL RECOMMENDATIONS REPORT 25CN0239 DATED AUGUST 22, 2025.

● BORING (APPROXIMATE LOCATION)

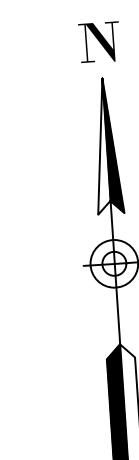
MONTGOMERY COUNTY, OHIO (OH113)	
MAP UNIT SYMBOL	MAP UNIT NAME
Bs	BROOKSTON SILTY CLAY LOAM, FINE TEXTURE, 0 TO 2 % SLOPES
Fca	FINCASTLE SILT LOAM, SOUTHERN OHIO TILL PLAIN, 0 TO 2 % SLOPES
XeB	XENIA SILT LOAM, SOUTHERN OHIO TILL PLAIN, 2 TO 6 % SLOPES



OHIO811.org
Before You Dig
811 OR 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

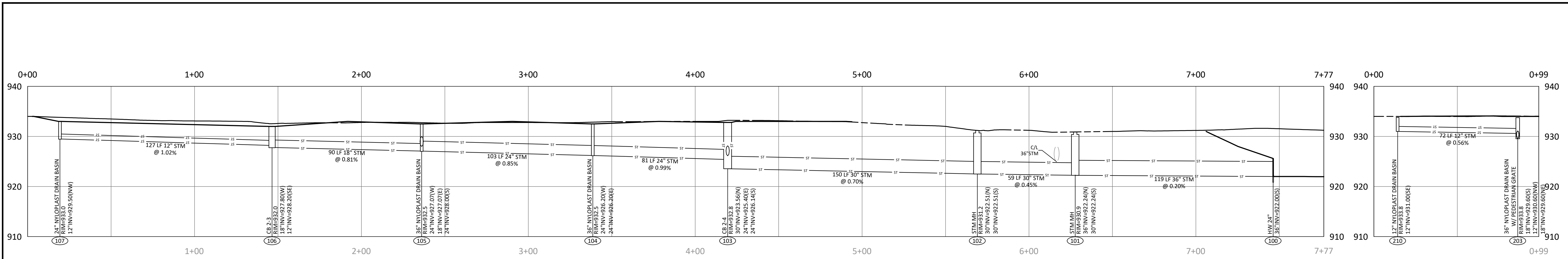


SECTION 11 MIAMI TWP.
SECTION 5 WASHINGTON TWP.



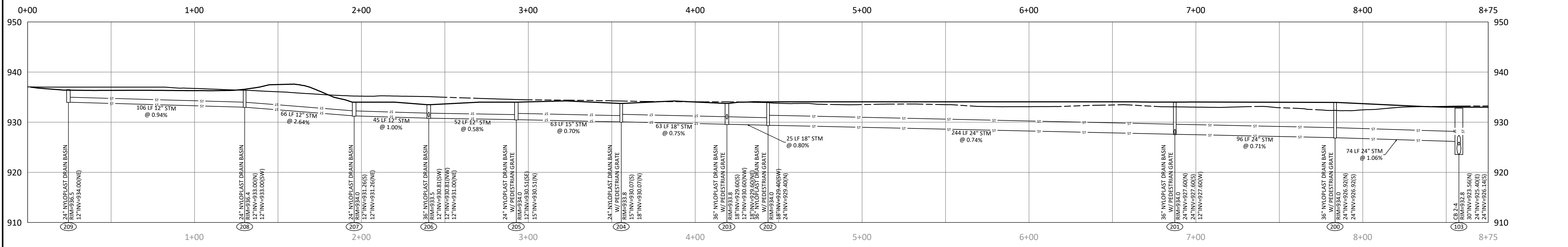
N:\land projects\25000\25423\img\25423014-IMP - FDP.dwg, C104, 3/17/2026 8:36:35 AM, chris.balsh

Issue/Revision	No.	Date
FDP SUBMITTAL		03/03/26

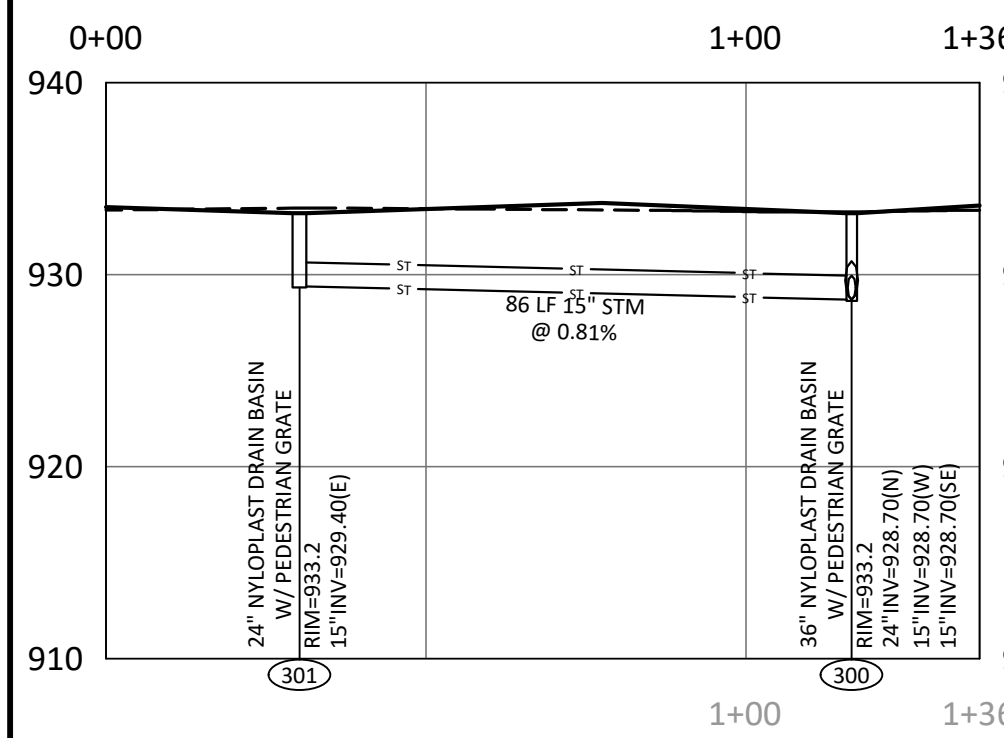


STORM 107 - 100
1"=30' HOR. / 1"=10' VERT.

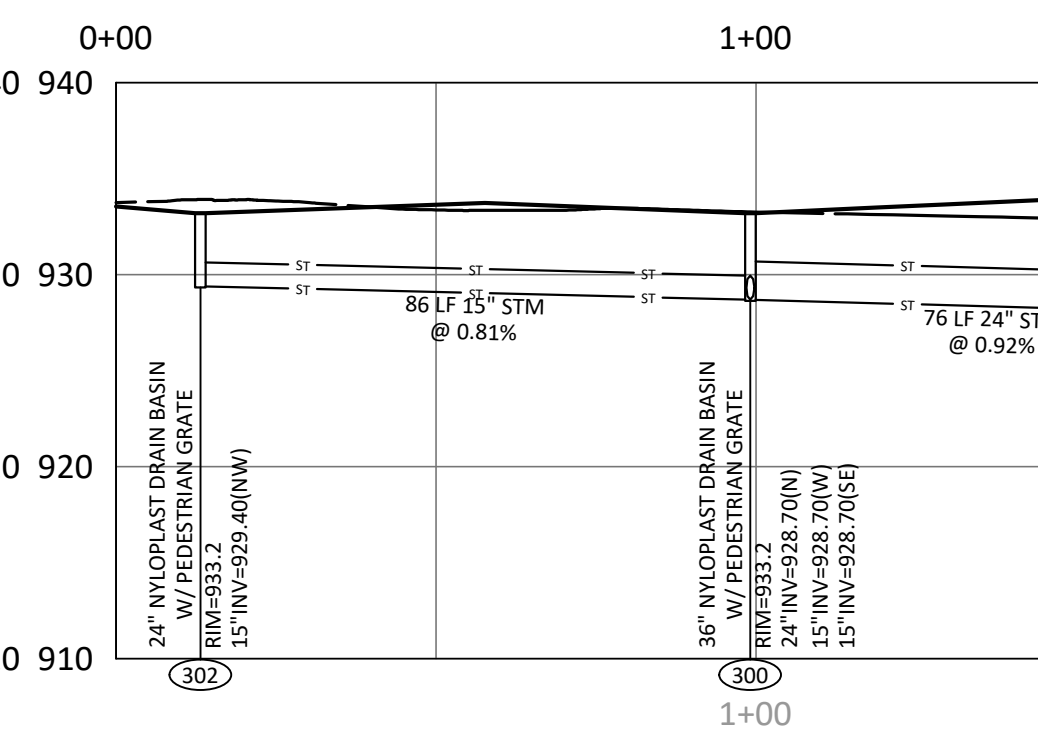
STORM 210 - 203
1"=30' HOR. / 1"=10' VERT.



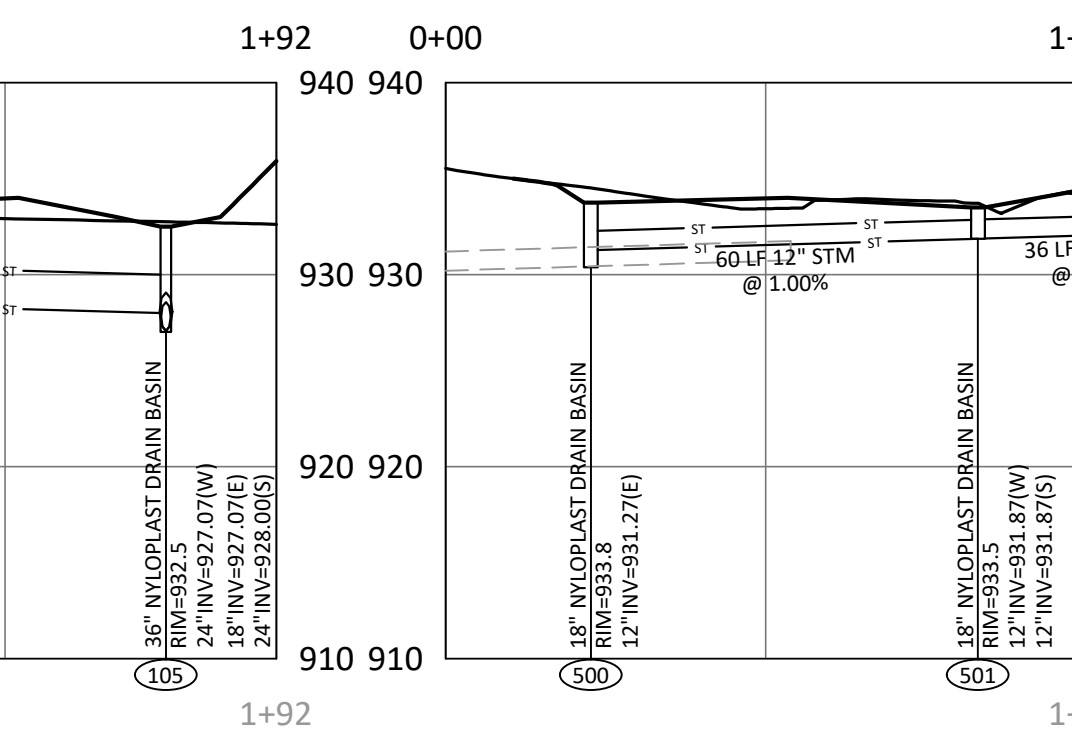
STORM 209 - 103
1"=30' HOR. / 1"=10' VERT.



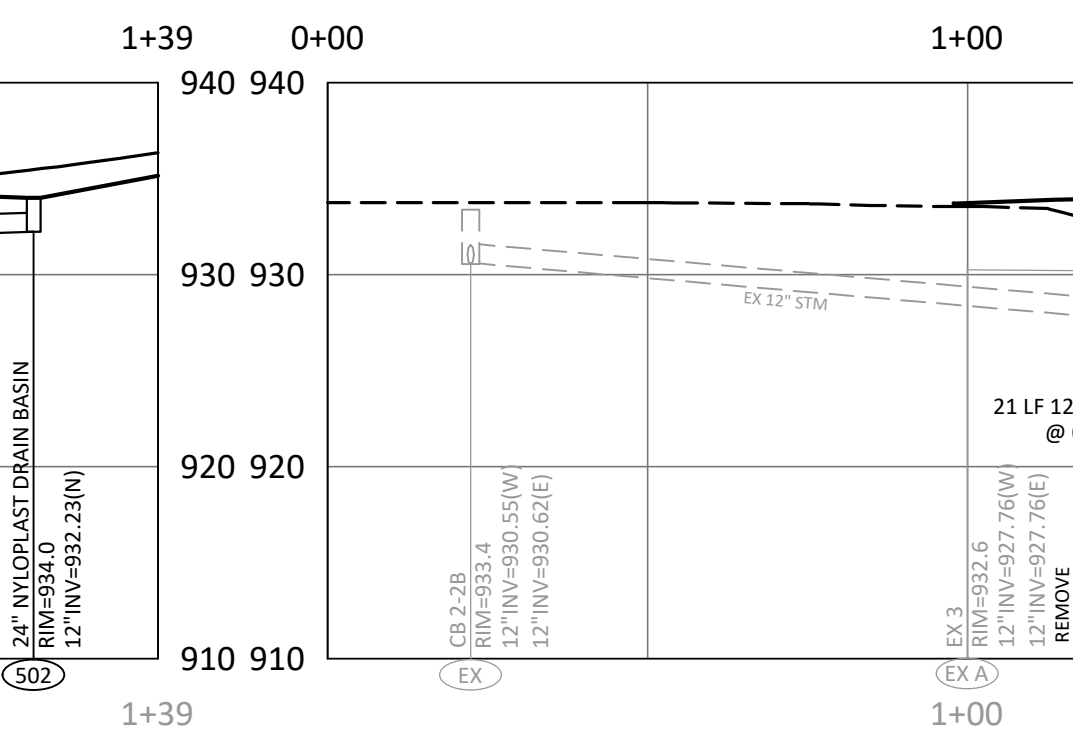
STORM 301 - 300
1"=30' HOR. / 1"=10' VERT.



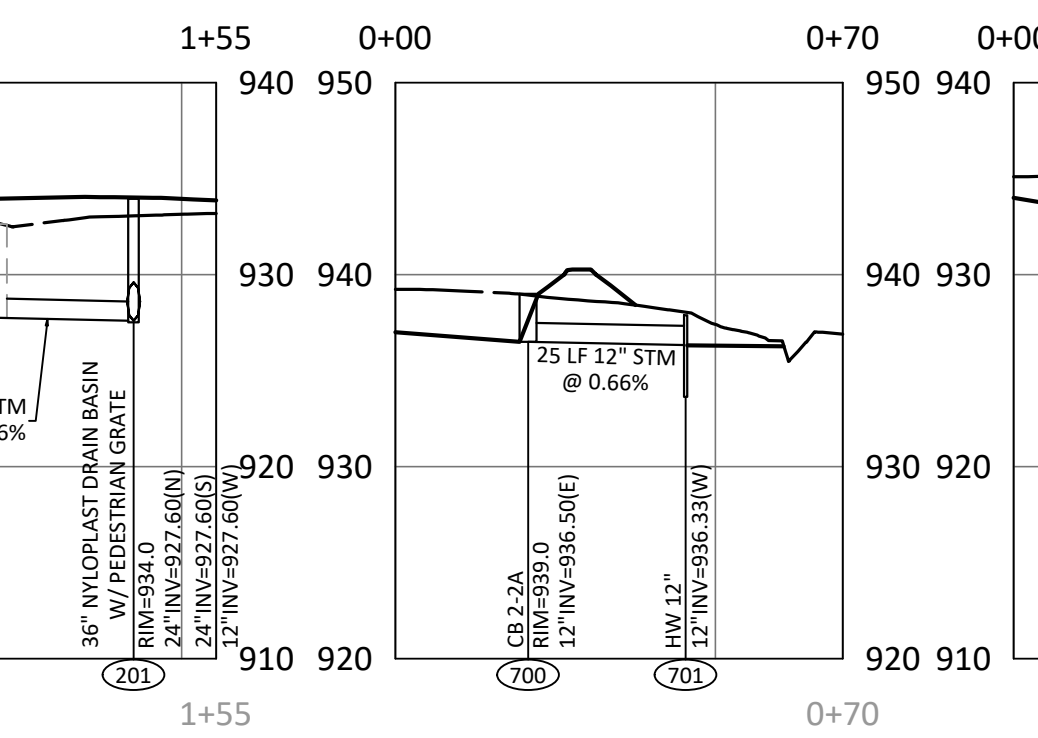
STORM 302 - 105
1"=30' HOR. / 1"=10' VERT.



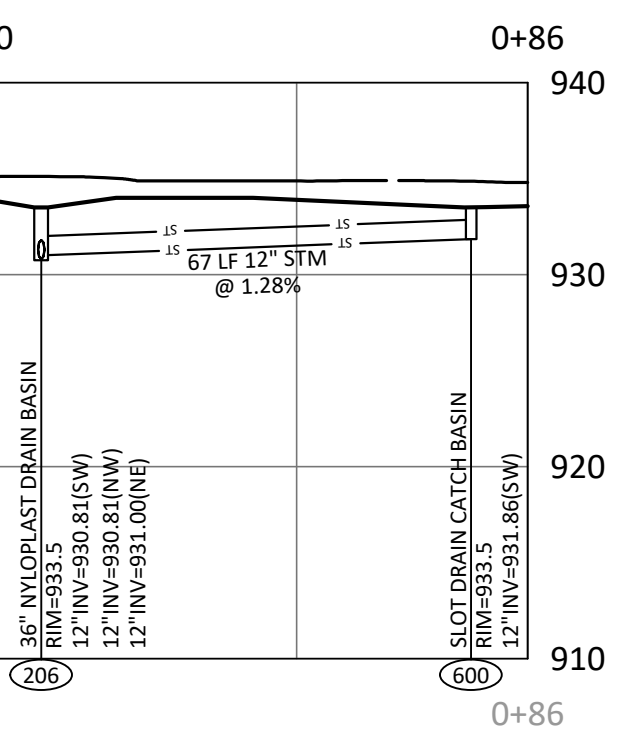
STORM 500 - 502
1"=30' HOR. / 1"=10' VERT.



STORM EX - 201
1"=30' HOR. / 1"=10' VERT.

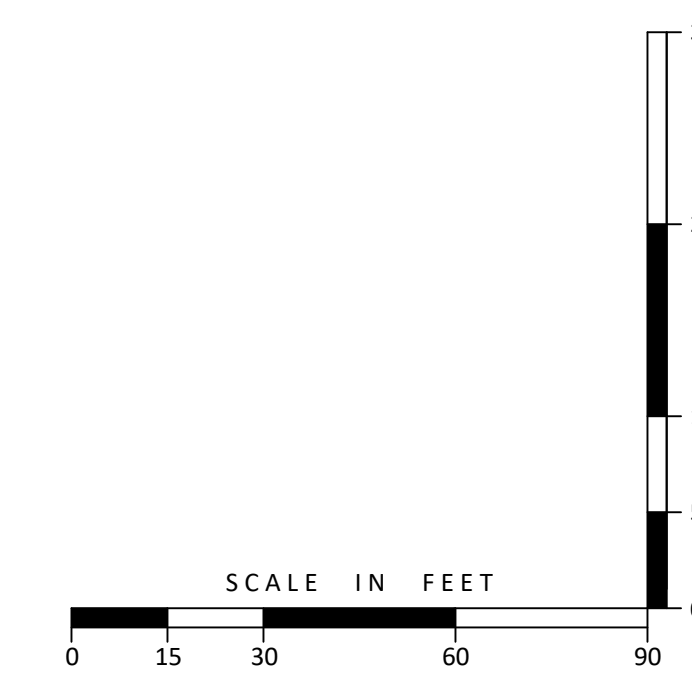


STORM 700 - 701
1"=30' HOR. / 1"=10' VERT.



STORM 206 - 600
1"=30' HOR. / 1"=10' VERT.

EXISTING GRADE - - - - -
PROPOSED GRADE - ———



OHIO811.org
Before You Dig
811 OR 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

DAYTON CHRISTIAN SCHOOL
SPORT FIELD IMPROVEMENTS
9391 WASHINGTON CHURCH ROAD
MIAMISBURG, OHIO 45342
MONTGOMERY COUNTY

Issue/Revision	No.	Date
BID ISSUE		01/28/26

PLANT SCHEDULE L301

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
EVERGREEN TREES				
NS	12	Picea abies	Norway Spruce	6'-7" B&B
WP	9	Pinus strobus	White Pine	6'-7" B&B
GGA	17	Thuja occidentalis 'Green Giant'	Green Giant Arborvitae	6'-7" B&B
ORNAMENTAL TREES				
ER	1	Cercis canadensis	Eastern Redbud	2 1/2" - 3" CAL. B&B
SHADE TREES				
AGG	7	Ginkgo biloba 'Autumn Gold'™	Autumn Gold Maidenhair Tree	2 1/2" - 3" CAL. B&B
TT	2	Liriodendron tulipifera	Tulip Tree	2 1/2" - 3" CAL. B&B
SWO	2	Quercus bicolor	Swamp White Oak	2 1/2" - 3" CAL. B&B
GVZ	3	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2 1/2" - 3" CAL. B&B



MATCHLINE: SEE SHEET L302

LANDSCAPE REQUIREMENTS

IMPERVIOUS SURFACE = 2.94 ACRES OR 128,066 SF, EXCLUDING FIELD
128,066/2000 = 64.033
64 TREES REQUIRED
103 TREES PROVIDED



OHIO811.org
Before You Dig
811 OR 1-800-362-2764
CALL TWO WORKING DAYS BEFORE YOU DIG
(NON MEMBERS MUST BE CALLED DIRECTLY)

**DAYTON CHRISTIAN
FIELD RENOVATION**
**9391 WASHINGTON CHURCH RD
MIAMISURG, OH 45342**

LANDSCAPE PLAN
Project Number 25423.01
Drawing Scale 1" = 50'
Sheet Number L301
File Number 24523

Dayton Christian High School Multipurpose Field
Miamisburg, OH

LIGHTING SYSTEM

Structure/Fixture Summary						
Structure ID	Structure Height	Fixt. Attachment Ht.	Fixture Qty	Fixture Type	Load	Circuit
F1-F2	80'	80'	1	TLC-LED-550	0.54 kW	A
		80'	1	TLC-LED-550	0.54 kW	B
		80'	8	TLC-LED-1500	11.28 kW	B
		16'	2	TLC-BT-575	1.15 kW	A
F3	70'	70'	1	TLC-LED-1200	1.17 kW	A
		70'	8	TLC-LED-900	7.04 kW	A
		16'	2	TLC-BT-575	1.15 kW	A
		70'	7	TLC-LED-900	6.16 kW	A
F4	70'	70'	1	TLC-LED-1200	1.17 kW	A
		70'	8	TLC-LED-900	7.04 kW	A
5		16'	2	TLC-BT-575	1.15 kW	A
					51.90 kW	

Circuit Summary			
Circuit	Description	Load	Fixture Qty
A	Football	50.82 kW	51
B	Security	1.08 kW	2

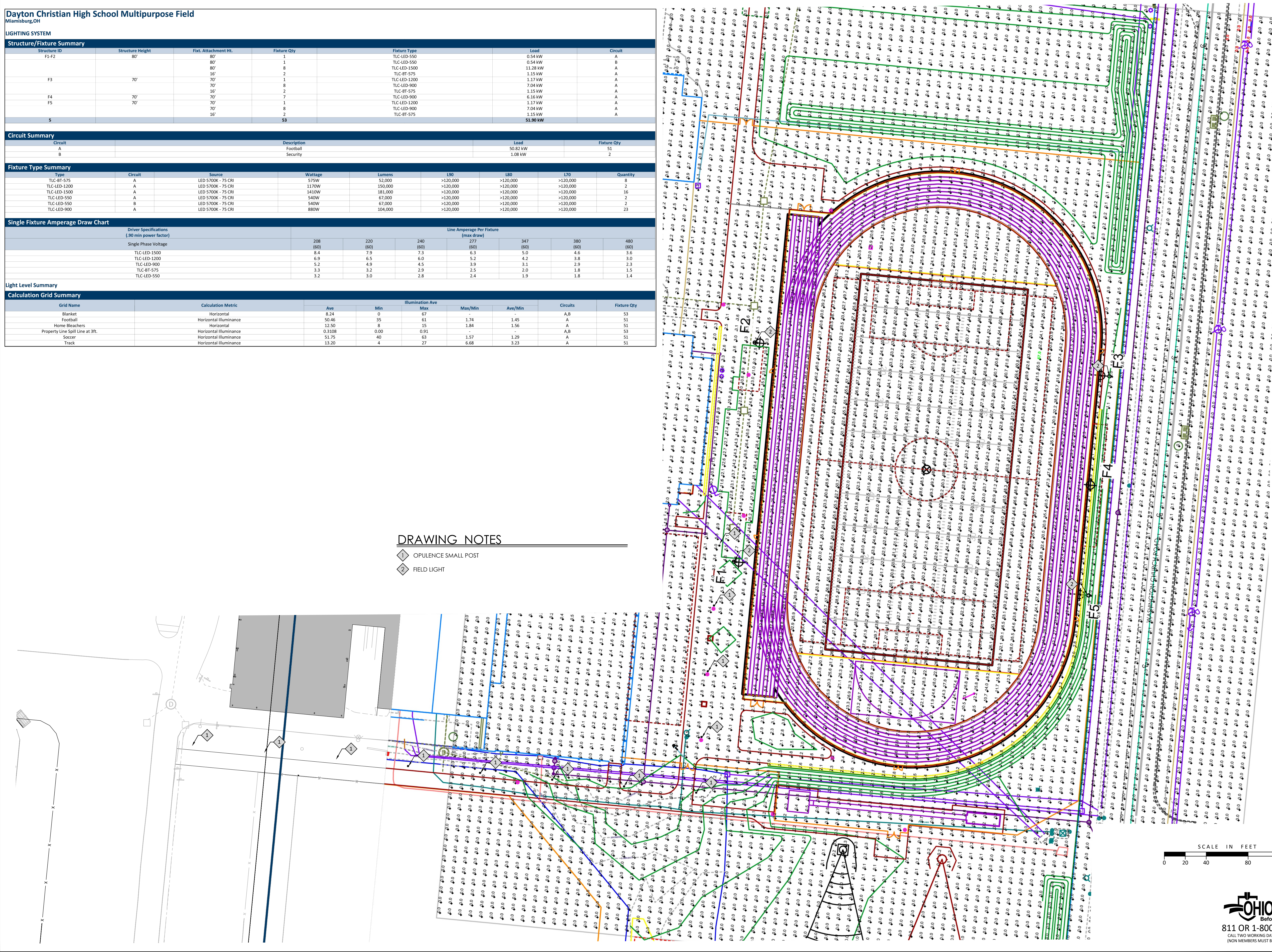
Fixture Type Summary							
Type	Circuit	Source	Wattage	Lumens	L70	L70	Quantity
TLC-BT-575	A	LED 5700K - 75 CRI	575W	52,000	>120,000	>120,000	9
TLC-LED-1200	A	LED 5700K - 75 CRI	1170W	150,000	>120,000	>120,000	2
TLC-LED-1500	A	LED 5700K - 75 CRI	1410W	181,000	>120,000	>120,000	2
TLC-LED-550	A	LED 5700K - 75 CRI	540W	67,000	>120,000	>120,000	16
TLC-LED-550	B	LED 5700K - 75 CRI	540W	67,000	>120,000	>120,000	2
TLC-LED-900	A	LED 5700K - 75 CRI	880W	104,000	>120,000	>120,000	23

Single Fixture Amperage Draw Chart									
Driver Specifications (.90 min power factor)	Line Amperage Per Fixture (max draw)								
	208 (60)	220 (60)	240 (60)	(max draw)	347 (60)	380 (60)	480 (60)		
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6		
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0		
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3		
TLC-BT-575	3.3	3.2	2.9	2.5	2.0	1.8	1.5		
TLC-LED-550	3.2	3.0	2.8	2.4	1.9	1.8	1.4		

Light Level Summary									
Calculation Grid Summary									
Grid Name	Calculation Metric	Ave	Min	Illumination Ave		Ave/Min	Circuits	Fixture Qty	
Blanket	Horizontal	8.24	0	Max	Min		A, B	53	
Football	Horizontal Illuminance	50.46	35	61	1.74	1.45	A	51	
Home Bleachers	Horizontal	12.50	8	15	1.84	1.56	A	51	
Property Line Spill Line at 3ft.	Horizontal Illuminance	0.3108	0.00	0.91			A, B	53	
Soccer	Horizontal Illuminance	51.75	40	68	1.57	1.29	A	51	
Track	Horizontal Illuminance	13.20	4	27	6.68	3.23	A	51	

DRAWING NOTES

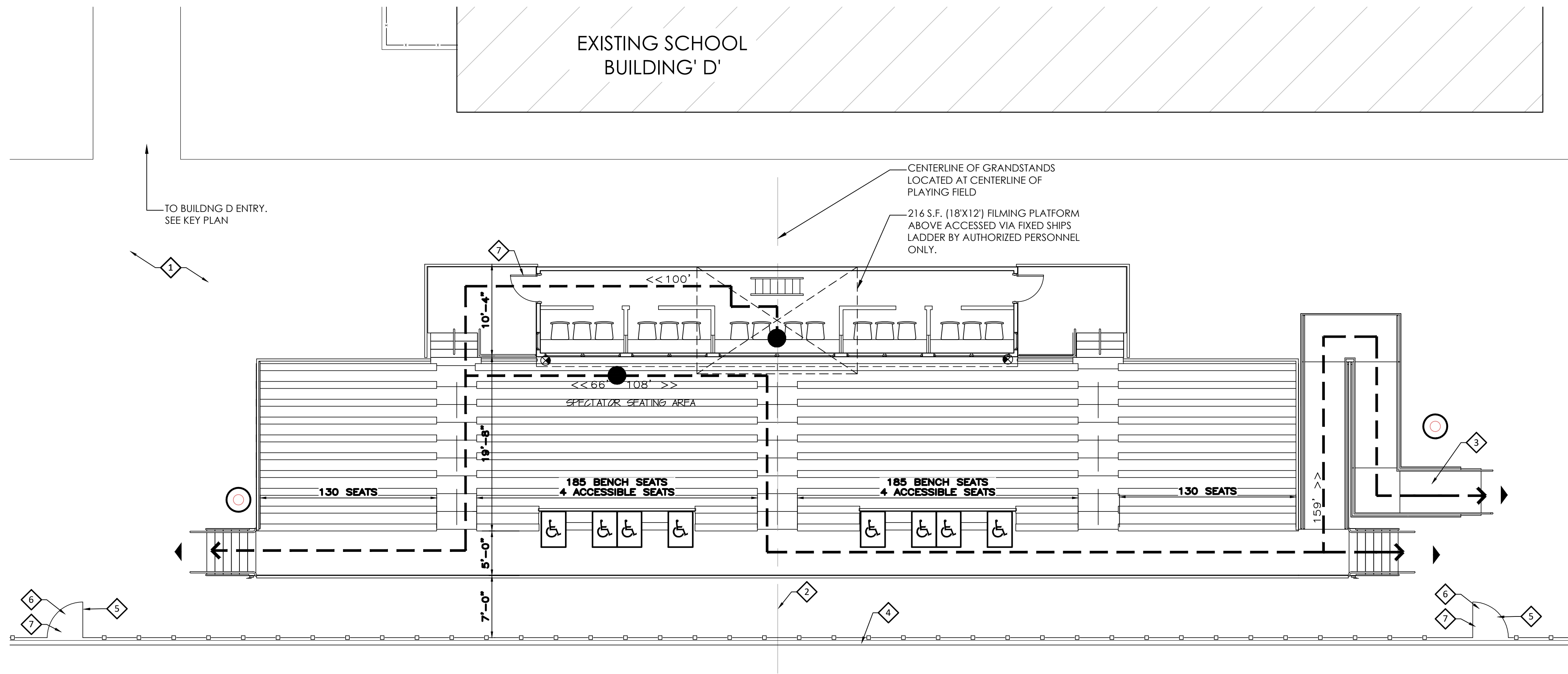
- 1 OPULENCE SMALL POST
- 2 FIELD LIGHT



Issue/Revision	No.	Date
BID ISSUE		01/28/26

**DAYTON CHRISTIAN
FIELD RENOVATION**
9391 WASHINGTON CHURCH RD
MIAMISBURG, OH 45342





GRANDSTANDS LIFE SAFETY PLAN

SCALE: 1/8" = 1'-0"

CODE DATA

PROJECT DESCRIPTION

630 SEAT PRE-ENGINEERED GRANDSTANDS PACKAGE WITH ACCESS RAMPS, STAIRS AND PRESS-BOX. FULLY ENGINEERED, STAMPED ERCTED DRAWINGS BY THE VENDOR WILL BE SUBMITTED SEPARATELY. SIZE, ORIENTATION, EGRESS AND ELECTRICAL UTILITIES ARE INCLUDED IN THIS PACKAGE FOR COORDINATION AND PLAN REVIEW.

CODES:

OHIO BUILDING CODE 2024
OHIO ELECTRICAL CODE 2024
OHIO PLUMBING CODE 2024
OHIO MECHANICAL CODE 2024
ACCESSIBILITY A117.1 2009

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATION

A-5

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

TABLES 504.3 AND 506.2

ALLOWABLE HEIGHT: UNLIMITED

ACTUAL HEIGHT: 27'-8" +/-

ALLOWABLE AREA: UNLIMITED

ACTUAL AREA: SEATING AND AISLES: 4,138 S.F.
PRESS BOX: 246 S.F.

CHAPTER 10 - MEANS OF EGRESS

GRANDSTANDS OCCUPANCY
BENCH BLEACHER SEATS: 630
ACCESSIBLE SEATS: 8
PRESS BOX, 246 S.F. @ 1/100 24
ROOFTOP PLATFORM, 216 S.F. @ 1/15 15
(3 MAX. OPERATIONALLY)

TOTAL OCCUPANCY 677

TWO (2) MEANS OF EGRESS PROVIDED
177 PER EXT x .02 = 3.6

ICC 300, 404.4 PRESS BOXES.

PRESS BOX OCCUPANCY = 24
2 MEANS OF EGRESS PROVIDED
AUTHORIZED PERSONNEL ONLY ACCESS TO ROOFTOP CROWS NEST AREA BY FIXED SHIPS LADDER. INSIDE THE MAIN PRESS BOX AREA.

ICC 300, 404.5 TRAVEL DISTANCE.
ALLOWABLE MAXIMUM TRAVEL DISTANCE 400 FEET.
DESIGNED MAX TRAVEL DISTANCE IS 160 FEET (RAMP PATH).

ICC 404.6 REQUIRED WIDTH, TABLE 404.6(3) FOR OPEN-AIR ASSEMBLY

SEATING OCC 15,000 OR LESS = 0.080"
677 / 2 = 338.5 X 0.080 = 27.08"
MINIMUM WIDTH 42"

EGRESS PROVIDED:
WALKWAY AT FRONT OF STANDS = 5' WIDTH
RAMPS = 5' WIDTH, 1:12 MAX SLOPE

CHAPTER 11 - ACCESSIBILITY

(8) ACCESSIBLE SPECTATOR VIEWING LOCATIONS AND ACCESSIBLE PATH PROVIDED.

CHAPTER 29 - PLUMBING SYSTEMS

EXISTING FACILITIES WITHIN THE SCHOOL BUILDING WILL BE AVAILABLE DURING SPECTATOR EVENTS. STUDENT ATHLETES AND COACHES ALSO HAVE ACCESS TO ADDITIONAL FACILITIES IN EXISTING LOCKER ROOMS.

677 GRANDSTANDS & PRESS BOX MAX CAPACITY
339 WOMEN
339 MEN

REQUIRED PER OBC 2024, TABLE 2902.1

WATER CLOSET, WOMEN, 339 @ 1/40 = 8.5 = 9
WATER CLOSET/URINALS, MEN, 339 @ 1/75 = 4.52 = 5
LAVATORIES, WOMEN, 339 @ 1/150 = 2.26 = 3
LAVATORIES, M39, 339 @ 1/200 = 1.7 = 2

EXISTING RESTROOMS IN ADJACENT BUILDING 'D' WILL BE AVAILABLE FOR SPECTATOR USE DURING ALL EVENTS. THESE EXISTING RESTROOMS ARE SUFFICIENT TO ACCOMMODATE UP TO 400 TOTAL ATTENDANCE:

WATER CLOSET, WOMEN = 5 (200 @ 1/40)
WATER CLOSET/URINALS, MEN = 6 (450 @ 1/75)
LAVATORIES, WOMEN = 4
LAVATORIES, MEN = 4

GAME DAY AND SPECIAL EVENT FACILITIES:

WHERE AN EVENT'S ATTENDANCE IS ANTICIPATED TO EXCEED 400, ADDITIONAL RESTROOMS IN THE SCHOOL BUILDING SHALL BE MADE AVAILABLE FOR USE, OR, IF ANTICIPATED ATTENDANCE WARRANTS, TEMPORARY PORT-O-LET FACILITIES SHALL BE PROVIDED.

GENERAL NOTES

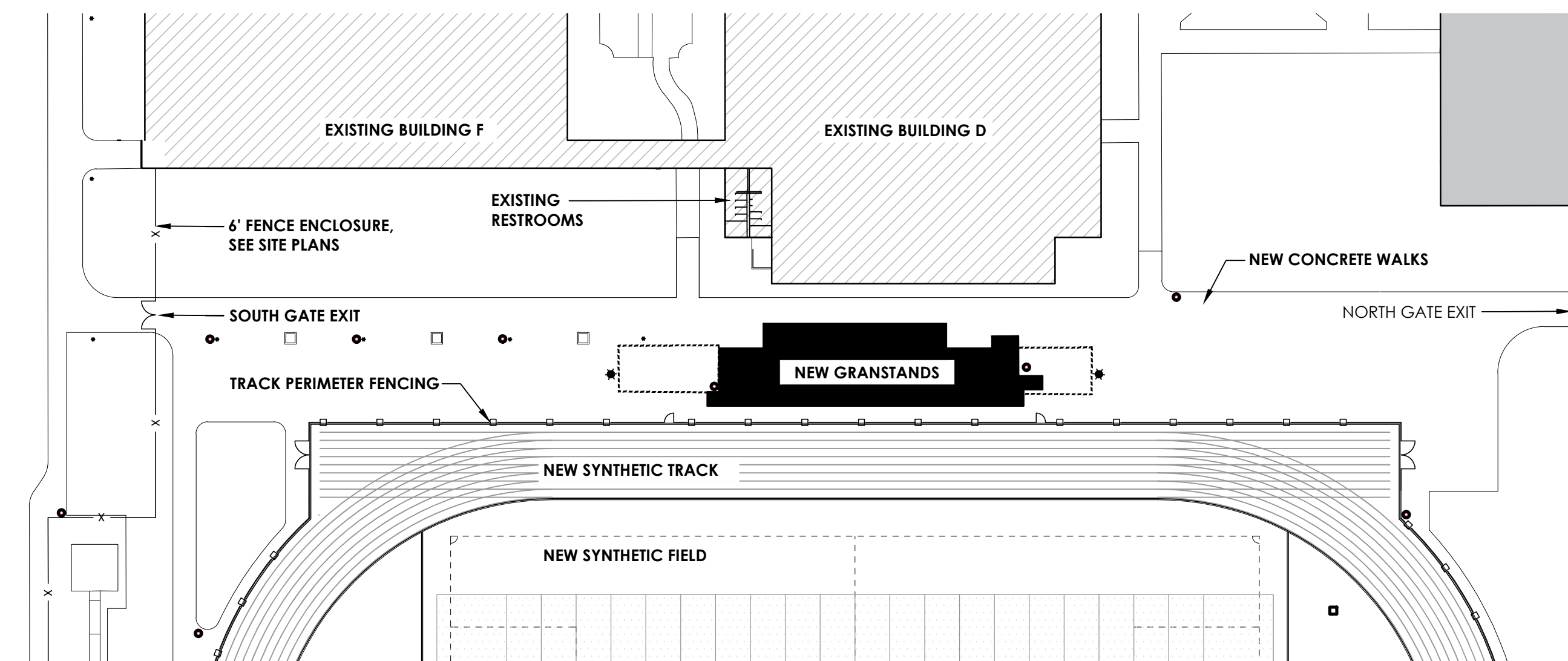
- PRE-ENGINEERED STEEL / ALUMINUM GRANDSTANDS DELEGATED DESIGN PACKAGE BY OWNER'S VENDOR.
- GRANDSTANDS PACKAGE SHALL BE PROVIDED IN THE GENERAL SIZE AND CONFIGURATION AS SHOWN.
- VENDOR SHALL SUBMIT ENGINEERED, STAMPED DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO THE START OF FABRICATION.
- REFER TO ELECTRICAL DRAWINGS FOR COORDINATION OF ELECTRIC UTILITY CONNECTIONS, ELECTRICAL PANEL, LIGHTING AND ELECTRIC HVAC AT PRESS BOX BY VENDOR.
- REFER TO SITE PLANS FOR DESIGN AND EXTENT OF CONCRETE SIDEWALKS BELOW GRANDSTANDS.

DRAWING NOTES

- CONCRETE WALKWAY AT FIELD LEVEL - SEE CIVIL AND LANDSCAPE PLANS
- CENTERLINE OF GRANDSTANDS ALIGNS WITH CENTERLINE OF PLAY FIELD - SEE SITE PLANS
- HANDICAP RAMP, RAILING AND GUARDRAILS PART OF VENDOR'S GRANDSTANDS SYSTEM. SLOPE TO BE 1:12 MAXIMUM.
- CONCRETE EDGE OF TRACK PERIMETER - REFER TO SITE PLAN FOR DETAILS.
- CHAIN LINK GATE. COORDINATE W/ FENCING PACKAGE. TO BE SUBMITTED FOR REVIEW & APPROVAL PRIOR TO FABRICATION.
- GATE TO REMAIN UNLOCKED & UNLATCHED WHILE STANDS AND/OR FIELD ARE OCCUPIED.
- COORDINATE LOCK KEYING WITH SCHOOL'S EXISTING KEYING SYSTEM.

LIFE SAFETY LEGEND

- FE-1 RECESSED FIRE EXTINGUISHER CABINET
- FE-2 BRACKET MOUNTED FIRE EXTINGUISHER
- # INDICATED NUMBER OF EXITING OCCUPANTS
- ← PATH OF EGRESS TRAVEL FROM MOST REMOTE POINT WITHIN FLOOR
- ◀ INDICATES POINT OF EGRESS DISCHARGE
- ⊗ EXIT SIGN



KEY PLAN



Miami Valley Fire District

2710 Lyons Rd, Miamisburg, Ohio 45342

Office: 937-560.2152, Fax: 937-425.8142

Miami Township Zoning Department
2700 Lyons Road
Miamisburg, Ohio 45342-3714
Phone: (937) 433-3426
Fax: (937) 433-8709
mmcconnell@miamitownship.com

Friday, March 06, 2026

1:58 PM

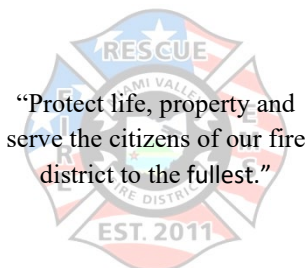
Zoning Project Acceptance Letter

Max:

The plans for “**25423.01, Dayton Christian Sport Field Improvements**” have been reviewed with the following comments:

Existing buildings shall not be occupied during repairs, construction or alteration unless all existing means of egress and any existing fire protection are continuously maintained, or other measures are taken to provide equivalent safety.

- Based on the information provided:
- **503.1.1 Buildings and facilities.** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction *which are not readily accessible from a public and/or private street*. The fire apparatus access road shall comply with the requirements of this paragraph and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
“Plans appear to meet this code, will confirm when permits and plans are issued to me”





Miami Valley Fire District

2710 Lyons Rd, Miamisburg, Ohio 45342

Office: 937-560.2152, Fax: 937-425.8142

- **503.2.1 Dimensions.** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for approved security gates in accordance with *paragraph (C)(6)(503.6) of this rule*, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).
“Appears roads meet this code as no new roads/drives are being created in the plans provided”
- **507.1 Required water supply.** An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
“Building is already suppressed and the addition does not appear to require anything new adding to the system”
- **507.5.1 Where required.** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
“Appears the hydrants are in good locations, plan makes it tough to see and confirm completely, but will confirm when permits and plans are filed.”

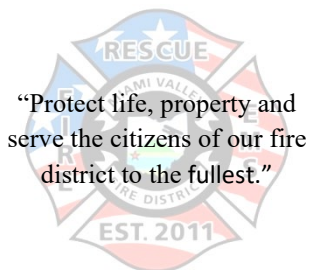
Should you have any further comments or questions, please do not hesitate to call our office. 937-560-2152 x2115

Yours in fire safety,

Brad Herr

Fire Marshal

Miami Valley Fire District





Miami Valley Fire District

2710 Lyons Rd, Miamisburg, Ohio 45342

Office: 937-560.2152, Fax: 937-425.8142

Should you have any further comments or questions, please do not hesitate to call our office. 937-560-2152 x2115

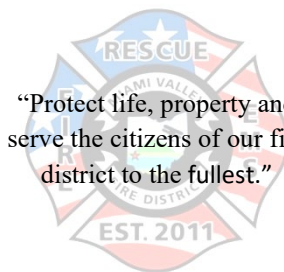
Yours in fire safety,

Brad Herr

Fire Marshal

Miami Valley Fire District

“Protect life, property and
serve the citizens of our fire
district to the fullest.”



www.miamivalleyfiredistrict.org



Andrew J. Shahan, P.E., P.S., PMP

**MONTGOMERY
COUNTY ENGINEER**

451 West Third St

P.O. Box 972

Dayton, OH 45422-1260

(937) 225-4904 phone

(937) 496-7441 fax

February 6, 2026

Max McConnell
Miami Township
2700 Lyons Road
Dayton, OH 45342

**Re: Dayton Christian School Stadium
Miami Township**

Dear Mr. McConnell,

A zoning Site Plan for the Dayton Christian School Stadium was received on January 20, 2026. We have reviewed the Site Plan and it appears to be in compliance with our storm water regulation. The engineer has been made aware that a stormwater easement will need to be obtained from the neighboring property to increase basin capacity.

An O&M Manual, Stormwater calculations, and a stormwater management report will also need to be provided with the final engineering. The SWPPP will provide details for the Post Construction BMPs. Our review is based on the surveys, plans, and designs provided by the site engineer.

Final Site Plan Engineering will need to be submitted after zoning approval.

For questions please contact me at (937)225-5408, or via email at stuartm@mcoho.org.

Very truly yours,

ANDREW J. SHAHAN, P.E., P.S.
MONTGOMERY COUNTY ENGINEER

Mark Stuart, P.E.
Plat and Drainage Administrator


MS/MD1

From: [Baker, Matt](#)
To: [McConnell, Max](#)
Subject: Request for extension
Date: Friday, February 6, 2026 3:58:04 PM
Attachments: [Outlook-errkf5ii.png](#)
[Outlook-b3in0zqa.png](#)

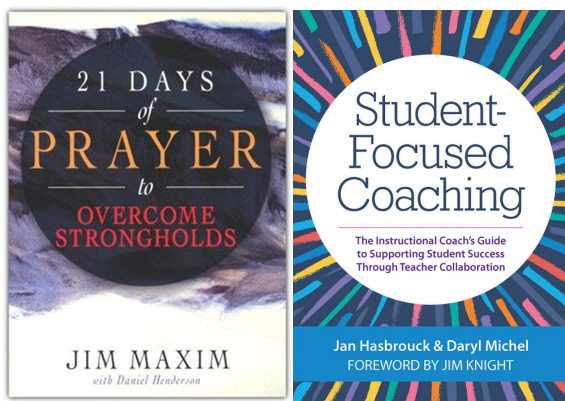
Good afternoon. We are requesting an extension for plan submittal until the March meeting. We want to make sure we are on pace with the township's expectation. Thank you.



Matt Baker, M.Ed.
Head of School
daytonchristian.com
Psalms 85:6

 [Book time to meet with me](#)

Currently Reading





NOTICE OF PUBLIC HEARING

Notice is hereby given that on **Tuesday, March 10, 2026, at 6:00 p.m.** or thereafter at the Miami Township Government Center, 2700 Lyons Road, Miami Township, a public hearing will be held by the **Miami Township Zoning Commission** for the purpose of hearing the following case(s):

ZC 468-26 RZ Certified Cultivators (Continued from 2/10/2026) - A request has been made by **Scott Miller / Certified Cultivators LLC** – 1654 Springfield St, Dayton, OH 45403 for rezoning of a 1.32 acres parcel from “B-4” Business to a newly created “SP-PUD” Special Purpose Planned Development at 8181 N Springboro Pike. This request is to establish permitted uses and development standards in a newly created SP-PUD for the future development of the property as a Dual Use Cannabis Dispensary. The area to be rezoned is parcel K45 25815 0003, 8181 N Springboro Pike, Miamisburg, OH 45342.

ZC 413-13 FDP February 2026 – A request has been made by Chris Balash, 3700 Park 42 Dr Suite 190B, Cincinnati, OH 45241 – on behalf of Dayton Christian School. The request is to approve a final development plan for a new sports stadium facility on the Dayton Christian campus. The property is located on parcel K45 02603 0005.

At the conclusion of the public hearing, the application, all pertinent records, and the Zoning Commission recommendation shall be forwarded to the **Miami Township Board of Trustees** for final public hearing on **Tuesday, April 7, at 6:00 PM** at the Miami Township Government Center, 2700 Lyons Road, Miami Township.

The application and pertinent materials are available for viewing at the Miami Township Government Center, Monday-Friday between 8AM-4:30PM. Please email mmcconnell@miamitownship.com with any questions on the case.

Max McConnell
Senior Planner, Community Development Department

COMMUNITY DEVELOPMENT

DIRECTOR ALEX CARLSON 2700 LYONS ROAD MIAMI TOWNSHIP, OHIO 45342

planning@miamitownship.com phone (937) 433-3426 fax (937) 433-8709 www.miamitownship.com